



HILLINGDON  
LONDON



## North Planning Committee

**Date:** THURSDAY, 16 JULY 2015

**Time:** 7.00 PM

**Venue:** COMMITTEE ROOM 5 -  
CIVIC CENTRE, HIGH  
STREET, UXBRIDGE UB8  
1UW

**Meeting  
Details:** Members of the Public and  
Press are welcome to attend  
this meeting

### To Councillors on the Committee

Eddie Lavery, Chairman of North  
Planning and Major Applications Planning  
Committees (Chairman)

John Morgan (Vice-Chairman)

Peter Curling (Labour Lead)

Jem Duducu

Duncan Flynn

Raymond Graham

Carol Melvin

John Morse

John Oswell, Deputy Leader of the  
Labour Group

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further information.**

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***Putting our residents first***

Lloyd White

Head of Democratic Services

London Borough of Hillingdon,

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## A useful guide for those attending Planning Committee meetings

### Security and Safety information

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### Petitions and Councillors

**Petitions** - Those who have organised a petition of 20 or more borough residents can speak at a Planning Committee in support of or against an application. Petitions must be submitted in writing to the Council in advance of the meeting. Where there is a petition opposing a planning application there is also the right for the applicant or their agent to address the meeting for up to 5 minutes.

**Ward Councillors** - There is a right for local councillors to speak at Planning Committees about applications in their Ward.

**Committee Members** - The planning committee is made up of the experienced Councillors who meet in public every three weeks to make decisions on applications.

### How the Committee meeting works

The Planning Committees consider the most complex and controversial proposals for development or enforcement action.

Applications for smaller developments such as householder extensions are generally dealt with by the Council's planning officers under delegated powers.

An agenda is prepared for each meeting, which comprises reports on each application

Reports with petitions will normally be taken at the beginning of the meeting.

The procedure will be as follows:-

1. The Chairman will announce the report;
2. The Planning Officer will introduce it; with a presentation of plans and photographs;
3. If there is a petition(s), the petition organiser will speak, followed by the agent/applicant

followed by any Ward Councillors;

4. The Committee may ask questions of the petition organiser or of the agent/applicant;
5. The Committee debate the item and may seek clarification from officers;
6. The Committee will vote on the recommendation in the report, or on an alternative recommendation put forward by a Member of the Committee, which has been seconded.

### About the Committee's decision

The Committee must make its decisions by having regard to legislation, policies laid down by National Government, by the Greater London Authority - under 'The London Plan' and Hillingdon's own planning policies as contained in the 'Unitary Development Plan 1998' and supporting guidance. The Committee must also make its decision based on material planning considerations and case law and material presented to it at the meeting in the officer's report and any representations received.

Guidance on how Members of the Committee must conduct themselves when dealing with planning matters and when making their decisions is contained in the 'Planning Code of Conduct', which is part of the Council's Constitution.

When making their decision, the Committee cannot take into account issues which are not planning considerations such as the effect of a development upon the value of surrounding properties, nor the loss of a view (which in itself is not sufficient ground for refusal of permission), nor a subjective opinion relating to the design of the property. When making a decision to refuse an application, the Committee will be asked to provide detailed reasons for refusal based on material planning considerations.

If a decision is made to refuse an application, the applicant has the right of appeal against the decision. A Planning Inspector appointed by the Government will then consider the appeal. There is no third party right of appeal, although a third party can apply to the High Court for Judicial Review, which must be done within 3 months of the date of the decision.

## Agenda

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### Chairman's Announcements

- 1 Apologies for Absence
- 2 Declarations of Interest in matters coming before this meeting
- 3 To sign and receive the minutes of the meeting held on 2 June 2015 1 - 6
- 4 Matters that have been notified in advance or urgent
- 5 To confirm that the items of business marked Part 1 will be considered in public and that the items marked Part 2 will be considered in private

### PART I - Members, Public and Press

Items are normally marked in the order that they will be considered, though the Chairman may vary this. The name of the local ward area is also given in addition to the address of the premises or land concerned.

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### Applications with a Petition

	Address	Ward	Description & Recommendation	Page
6	Land forming part of 26A Windmill Hill, Ruislip 67242/APP/2015/188	Eastcote & East Ruislip	<b>Deferred from North committee - 2<sup>nd</sup> June 2015</b>  Single storey, 2-bed detached dwelling with habitable roofspace, associated parking and amenity space involving demolition of existing detached garage.  <b>Recommendation: Approval</b>	7 - 26  120 - 132
7	2 Park Avenue, Ruislip 11331/APP/2015/807	Eastcote & East Ruislip	Two storey rear extension.  <b>Recommendation: Approval</b>	27 - 34  133 - 140

8	2 Raisins Hill, Eastcote, Pinner 32216/APP/2015/517	Northwood Hills	Part two storey, part single storey side/rear extension and conversion of roofspace to habitable use to include 2 rear dormers, 2 side rooflights and 1 front rooflight.  <b>Recommendation: Refusal</b>	35 - 42  141 - 148
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### Applications without a Petition

	Address	Ward	Description & Recommendation	Page
9	7 Morford Way, Eastcote 42971/APP/2015/1629	Cavendish	Conversion of roof space to habitable use to include a rear dormer, 2 rear roof lights, 2 front roof lights, new window in western side roof and conversion of roof from hip to gable ends (removal of chimney stack in rear roof).  <b>Recommendation: Refusal</b>	43 - 50  149 - 152
10	Joel Street Farm, Joel Street, Northwood 8856/APP/2015/1333	Northwood Hills	Single storey side extension for use as an office.  <b>Recommendation: Approval</b>	51 - 64  153 - 160
11	61 & 61A High Road, Ickenham 51656/APP/2014/4334	West Ruislip	3 x two storey, 3-bed and 3 x two storey, 4-bed terraced dwellings with habitable roofspace with bin store and associated parking, landscaping and amenity space involving demolition of existing office and residential buildings.  <b>Recommendation: Approval subject to a S106 Agreement</b>	65 - 88  161 - 176

### Other Business

#### 12 S106 Quarterly Monitoring Report

*This report provides financial information on s106 and s278 agreements in the North Planning Committee area up to 31 March 2015 where the Council has received and holds funds.*

## **PART II - Members Only**

The reports listed below are not made public because they contain confidential or exempt information under paragraphs 2 and 6 of Part 1 of Schedule 12A to the Local Government (Access to Information) Act 1985 as amended.

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13	ENFORCEMENT REPORT	103 - 110
14	ENFORCEMENT REPORT	111 - 118

## **PART I - Plans for North Planning Committee**

**Pages 119-176**

# Agenda Item 3

## Minutes

### NORTH PLANNING COMMITTEE

2 June 2015

Meeting held at Committee Room 5 - Civic Centre,  
High Street, Uxbridge UB8 1UW



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	<p><b>Committee Members Present:</b> Councillors Eddie Lavery (Chairman), John Morgan (Vice-Chairman), Peter Curling (Labour Lead), Jem Duducu, Duncan Flynn, John Morse and John Oswell, Brian Stead and David Yarrow</p> <p><b>LBH Officers Present:</b> James Rodger, Head of Planning and Enforcement, Meg Hirani, Planning Service Manager, Syed Shah, Highway Engineer, Tim Brown, Legal advisor, Danielle Watson, Democratic Services Officer.</p>
3.	<p><b>APOLOGIES FOR ABSENCE</b> (<i>Agenda Item 1</i>)</p> <p>Apologies for absence were received from Cllr Carol Melvin and Cllr Raymond Graham with Cllr David Yarrow and Cllr Brian Stead substituting.</p>
4.	<p><b>DECLARATIONS OF INTEREST IN MATTERS COMING BEFORE THIS MEETING</b> (<i>Agenda Item 2</i>)</p> <p>None.</p>
5.	<p><b>TO SIGN AND RECEIVE THE MINUTES OF THE PREVIOUS MEETINGS HELD ON 13 MAY AND 14 MAY 2015</b> (<i>Agenda Item 3</i>)</p> <p>The minutes of the meetings held on 13 and 14 May 2015 were agreed as a correct record.</p>
6.	<p><b>MATTERS THAT HAVE BEEN NOTIFIED IN ADVANCE OR URGENT</b> (<i>Agenda Item 4</i>)</p> <p>The Chairman informed Members that Item 7, 54 Pembroke Road, Ruislip had been withdrawn from the agenda as requested by the applicant.</p>
7.	<p><b>TO CONFIRM THAT THE ITEMS OF BUSINESS MARKED PART 1 WILL BE CONSIDERED IN PUBLIC AND THAT THE ITEMS MARKED PART 2 WILL BE CONSIDERED IN PRIVATE</b> (<i>Agenda Item 5</i>)</p> <p>It was confirmed that all items would be considered in Part 1 public.</p>
8.	<p><b>LAND FORMING PART OF 26A WINDMILL HILL, RUISLIP - 67242/APP/2015/188</b> (<i>Agenda Item 6</i>)</p> <p><b>Single storey, 2-bed detached dwelling with habitable roofspace, associated parking and amenity space involving demolition of existing detached garage.</b></p>

Officers introduced the report and referred members to the addendum sheet that had been circulated.

The proposal was for the erection of a detached two bed dwelling within the rear garden of No.26a Windmill Hill that ran adjacent to the highway. The new dwelling would be sited next to the neighbouring property at No.26 Windmill Hill and would be in the form of a chalet style bungalow.

It was considered that the principle of one new house on this site was acceptable, and that the proposed building and use would not be harmful to the character and appearance of the street scene, nor the amenities of nearby residents. Parking and highway safety matters and the protection of trees were also satisfactory. The application complied with the Council's planning policies and was therefore recommended for approval, subject to appropriate conditions.

In accordance with the Council's constitution a representative of the petitioners objecting the proposals addressed the meeting.

The petitioner objecting to the proposals made the following points:

- The proposals were next door to the petitioner's garden.
- A tree with a Tree Protection Order was on the boundary of the application.
- This was the 3<sup>rd</sup> application that had been submitted and the previous 2 applications had been refused.
- The present application runs parallel with Windmill Hill.
- The previous applications were notably smaller in size whilst the 3<sup>rd</sup> application was 62sq/m.
- Developer at 28a sets a precedent, as it was built in the 1980's.
- There would be pressure from future occupiers.
- The proposals were contrary to policy BE38 policy.
- There could potentially be disputes with future neighbours.
- The tree on the boundary could grow up to 100ft.
- The proposal was situated near a elongated roundabout.

A representative of the applicant raised the following points:

- Follows two previously refused applications.
- The application had been designed in accordance with the London Plan and Council standards.
- The inspectors concern was that the proposal should have a wider frontage.
- The proposal was an acceptable form of development.
- The case officer agreed with the amended design.
- Supported the officer's recommendation.

Members discussed the application and believed the proposals conflicted with the Council's policy in relation to back land garden grabbing. The Legal advisor present stated that it was right to support the Council's policy, however, following the Planning Inspectors decision the Council had limited reasons for refusal.

Members were concerned about the tree and noted that the Tree Officer had reservations regarding its close position to the proposed property. Officers informed Members that the current proposal was not any closer than the previous two applications.



	<p>Members discussed the petitioners concerns and decided that it would be more appropriate to defer the application.</p> <p>It was moved, seconded and agreed that the application be deferred for further details to be provided.</p> <p><b>Resolved- That the application be deferred for further details to be provided.</b></p>
9.	<p><b>54 PEMBROKE ROAD, RUISLIP - 10793/APP/2015/476</b> (<i>Agenda Item 7</i>)</p> <p>This item was withdrawn from the agenda at the request of the applicant.</p>
10.	<p><b>12 COLCHESTER ROAD, NORTHWOOD - 70151/APP/2015/980</b> (<i>Agenda Item 8</i>)</p> <p><b>2 x two storey, 2-bed semi detached dwellings with associated parking and amenity space and installation of vehicular crossover to front involving demolition of existing detached bungalow.</b></p> <p>Officers introduced the report and outlined details of the application.</p> <p>Members noted that there had been 9 letters of objection and a petition received against the application.</p> <p>Members noted that the proposed dwellings were not acceptable in design terms and would result in an incongruous addition to the street scene. The proposal would also have a dominant and overbearing impact on the adjacent bungalow. Additionally the positioning of the proposed crossover was unacceptable and would be detrimental to highway and pedestrian safety.</p> <p>In accordance with the Council's constitution a representative of the petitioners objecting to the proposals addressed the meeting.</p> <p>The petitioner objecting to the proposals made the following points:</p> <ul style="list-style-type: none"> <li>• Was speaking on behalf of petitioners.</li> <li>• Northwood Residents Association objected to the proposals.</li> <li>• This application conflicted with the Council's garden grabbing policy.</li> <li>• The current bungalow was habitable.</li> <li>• The property was situated on a proposed incline.</li> <li>• The property would be overbearing on properties situated on both York Road and Colchester Road.</li> <li>• The property would be intrusive.</li> <li>• There was already a limited amount of off-street parking available which would be exasperated further if 2, 2 storey dwellings were approved.</li> </ul> <p>A representative of the applicant raised the following points:</p> <ul style="list-style-type: none"> <li>• The process had started in July 2014.</li> <li>• There had been a pre-application submission which indicated that it was possible and practical for the proposals to be carried out.</li> <li>• Based on positive feedback from the pre-application an application was made.</li> </ul>

- They had a number of case officers throughout the process.
- There had been a number of delays.
- Withdrawn the previous application and submitted a revised application.
- There were previously 3 car parking spaces proposed and now there were only 2.
- The shape of the roof was changed so that it was not too daunting.
- The source of light for the property opposite would not be affected.

The applicant informed Members that it was their understanding that the tree could be preserved, although perhaps more investigation could be carried out to be certain.

The Chairman reminded the Committee that a decision would need to be based on information contained in the officers' report. Members agreed that the proposals were overbearing and that the site photos did not show how intrusive the proposal would be on neighbouring properties. The Chairman highlighted size, bulk, the position of the crossover and its impact on highway and pedestrian safety and insufficient information regarding the impact of the proposed crossover as reasons for refusal. Members agreed that the wording for the reasons for refusal to be delegated to the Head of Planning and Enforcement.

The recommendation for refusal was moved, seconded and on being put to the vote was unanimously agreed.

**Resolved - That the application be refused as per the officers' report.**

11. **18 HIGHFIELD DRIVE, ICKENHAM - 33211/APP/2015/1061** (*Agenda Item 9*)

**Part two storey, part single storey rear extension, two storey front extension, first floor side extensions, raising of roof to allow conversion of roof space to habitable use to include a rear dormer, 2 front dormers, 4 side roof lights, conversion of garage to habitable use involving raising of roof of garage alterations to front and rear elevations including new boundary wall to front.**

Officers introduced the report and referred members to the addendum sheet that had been circulated.

The scheme proposed a part-two storey, part single storey rear extension. The part single storey and two storey side extension had been omitted from the previously refused scheme.

The two storey rear extension would reflect the design of the existing two storey rear element with two pitched roofs. There are no new windows proposed in the side elevations. The eaves would follow the lines of the existing dwelling. The proposal comprised two additional bedrooms resulting in a total of five bedrooms for this property and a living room and dining room on the ground floor. A 2.5m deep patio was proposed to the rear of the property. The materials would match the existing house with a sand cement render finish.

The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.

**Resolved - That the application be approved, subject to the conditions and informatives set out in the officer's report and addendum sheet circulated at the meeting.**

12.	<p><b>UXBRIDGE SKIP - 49984/APP/2014/3806 (Agenda Item 10)</b></p> <p><b>Changes to open storage areas associated with existing non-hazardous waste treatment and transfer facility including 2 x replacement trommels and waste picking stations, new baler, boundary treatment and landscaping involving replacement of workshop building following demolition of existing workshop building.</b></p> <p>Officers introduced the report and referred members to the addendum sheet that had been circulated.</p> <p>This application sought consent for both proposed and retrospective changes to the open storage areas associated with existing non-hazardous waste treatment and transfer facility. Retrospective consent was sought for the replacement of two trommels, waste picking stations and a new baler. Planning permission was also sought for new boundary treatment and landscaping involving the replacement of a workshop building following demolition of existing workshop building.</p> <p>It was considered that in this case, very special circumstances existed to justify inappropriate development in the Green Belt. The site had an established use and the proposal would involve incorporating a narrow strip of embankment into the active use, to facilitate the introduction of modern and efficient equipment and reorganisation of the site. This would reduce the sites visual impact on the openness of the Green Belt, without leading to an increase in vehicle movements.</p> <p>The proposal involved significant environmental benefits including a reduction in noise and dust levels associated with the existing waste recycling facility and proposed improved landscaping and boundary treatment adjoining Uxbridge golf club.</p> <p>The Chairman requested that 'living walls' be removed from condition 4 and be added to condition 5. Additionally Members agreed for the wording to be delegated authority to be given to the Head of Planning and Enforcement.</p> <p>The recommendation for approval was moved, seconded and on being put to the vote was unanimously agreed.</p> <p><b>Resolved - That the application be approved, subject to the conditions and informatives set out in the officer's report and addendum sheet circulated at the meeting. Also delegated to the Head of Planning authority to change wording of conditions if required, on the advice of the Council's Solicitor.</b></p>
	<p>The meeting, which commenced at 7.00 pm, closed at 7.57pm.</p>

These are the minutes of the above meeting. For more information on any of the resolutions please contact Danielle Watson on Democratic Services Officer - 01895 277488. Circulation of these minutes is to Councillors, Officers, the Press and Members of the Public.

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## Report of the Head of Planning, Sport and Green Spaces

**Address** LAND FORMING PART OF 26A WINDMILL HILL RUISLIP

**Development:** Single storey, 2-bed detached dwelling with habitable roofspace, associated parking and amenity space involving demolition of existing detached garage

**LBH Ref Nos:** 67242/APP/2015/188

**Drawing Nos:** 14-021-P03 Rev. A  
14-021-E02  
Planning, Design and Access Statemen  
RDW/WNH/AIM/02  
14-021-E01  
14-021-P01  
14-021-P07  
14-021-P02  
14-021-P03  
13-008-P03  
14-021-P06  
14-021-P05  
14-021-P04

<b>Date Plans Received:</b>	19/01/2015	<b>Date(s) of Amendment(s):</b>	19/01/0015
<b>Date Application Valid:</b>	02/02/2015		19/01/2015 30/01/0015

### DEFERRED ON 2nd June 2015 FOR FURTHER INFORMATION .

The application was deferred from the 2nd June 2015 North Planning Committee for further details in relation to the footprint of the previously dismissed scheme and for further comment on matters relating to trees and landscaping.

Further details regarding the footprint will be provided to committee within the presentation and this report has been updated to provide further comment on matters relating to trees and landscaping.

#### 1. SUMMARY

The proposal is for the erection of a detached two bed dwelling within the rear garden of No.26a Windmill Hill that runs adjacent to the highway. The new dwelling would be sited next to the neighbouring property at No.26 Windmill Hill and would be in the form of a chalet style bungalow.

It is considered that the principle of one new house on this site is acceptable, and that the proposed building and use would not be harmful to the character and appearance of the street scene, nor the amenities of nearby residents. Parking and highway safety matters and the protection of trees are also satisfactory. The application accords with the Council's planning policies and is therefore recommended for approval, subject to appropriate conditions.

The application is therefore recommended for approval.

## 2. **RECOMMENDATION**

### **APPROVAL subject to the following:**

#### **1 HO1 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

#### **2 HO2 Accordance with approved**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, 14-021-P03 Rev. A, 14-021-E02, Planning, Design and Access Statement, RDW/WNH/AIM/02, 14-021-E01, 14-021-P01, 14-021-P07, 14-021-P02, 14-021-P03, 13-008-P03, 14-021-P06, 14-021-P05, 14-021-P04.

#### REASON

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (July 2015).

#### **3 RES7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, including details of balconies have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

#### REASON

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **4 RES5 General compliance with supporting documentation**

The development hereby permitted shall not be occupied until the following has been completed in accordance with the specified supporting plans and/or documents:

Amenity space (Plan No.14/021-P02)

Parking (Plan No.14/021-P02)

Thereafter the development shall be retained/maintained in accordance with these details for as long as the development remains in existence.

#### REASON

To ensure that the development complies with the objectives of Policies AM14 and AM23 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **5 HO5 No additional windows or doors**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the

walls or roof slopes of the development hereby approved.

#### REASON

To prevent overlooking to adjoining properties in accordance with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **6 RES9 Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and approved in writing by the Local Planning Authority. The scheme shall include: -

##### 1. Details of Soft Landscaping

- 1.a Planting plans (at not less than a scale of 1:100),
- 1.b Written specification of planting and cultivation works to be undertaken,
- 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate

##### 2. Details of Hard Landscaping

- 2.a Refuse Storage
- 2.b Means of enclosure/boundary treatments
- 2.c Hard Surfacing Materials
- 2.d External Lighting
- 2.e Details of leaf traps to the guttering

##### 3. Schedule for Implementation

##### 4. Other

- 4.a Existing and proposed functional services above and below ground
- 4.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with Policies BE13, BE38 and AM14 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policy 5.17 (refuse storage) of the London Plan (July 2015).

#### **7 RES10 Tree to be retained**

Trees, hedges and shrubs shown to be retained on the approved plan shall not be damaged, uprooted, felled, lopped or topped without the prior written consent of the Local Planning Authority. If any retained tree, hedge or shrub is removed or severely damaged during construction, or is found to be seriously diseased or dying another tree, hedge or shrub shall be planted at the same place or, if planting in the same place would leave the new tree, hedge or shrub susceptible to disease, then the planting should be in a position to be first agreed in writing with the Local Planning Authority and shall be of a size and species to be agreed in writing by the Local Planning Authority and shall be planted in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier. Where damage is less severe, a schedule of remedial works necessary to ameliorate the effect of damage by tree surgery, feeding or groundwork shall be agreed in writing with the Local Planning Authority. New planting should comply

with BS 3936 (1992) 'Nursery Stock, Part 1, Specification for Trees and Shrubs' Remedial work should be carried out to BS BS 3998:2010 'Tree work - Recommendations' and BS 4428 (1989) 'Code of Practice for General Landscape Operations (Excluding Hard Surfaces)'. The agreed work shall be completed in the first planting season following the completion of the development or the occupation of the buildings, whichever is the earlier.

**REASON**

To ensure that the trees and other vegetation continue to make a valuable contribution to the amenity of the area in accordance with policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and to comply with Section 197 of the Town and Country Planning Act 1990.

**8 RES18 Lifetime Homes/Wheelchair Units**

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards.

**REASON**

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (July 2015) Policies 3.1, 3.8 and 7.2.

**9 RES24 Secured by Design**

The dwellings shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No dwelling shall be occupied until accreditation has been achieved.

**REASON**

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in exercising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with London Plan (July 2015) Policies 7.1 and 7.3.

**10 RES14 Outbuildings, extensions and roof alterations**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to the dwellinghouse shall be erected without the grant of further specific permission from the Local Planning Authority.

**REASON**

To protect the character and appearance of the area and amenity of residential occupiers in accordance with Policies BE13, BE21, BE23 and BE24 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**11 RES15 Sustainable Water Management (changed from SUDS)**

No development approved by this permission shall be commenced until a scheme for the provision of sustainable water management has been submitted to and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate that sustainable drainage systems (SUDS) have been incorporated into the designs of the development in



accordance with the hierarchy set out in accordance with Policy 5.15 of the London Plan and will:

- i. provide information about the design storm period and intensity, the method employed to delay and control the surface water discharged from the site and the measures taken to prevent pollution of the receiving groundwater and/or surface waters;
- ii. include a timetable for its implementation; and
- iii. provide a management and maintenance plan for the lifetime of the development which shall include the arrangements for adoption by any public authority or statutory undertaker and any other arrangements to secure the operation of the scheme throughout its lifetime. The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:
- iv. provide details of water collection facilities to capture excess rainwater;
- v. provide details of how rain and grey water will be recycled and reused in the development.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

#### REASON

To ensure the development does not increase the risk of flooding in accordance with Policy OE8 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and London Plan (2015) Policy 5.12.

#### **12        RES6        Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

#### REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

### INFORMATIVES

#### **1            I1            Building to Approved Drawing**

You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.

#### **2            I2            Encroachment**

You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

#### **3            I3            Building Regulations - Demolition and Building Works**

Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services,

underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning & Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).

#### **4 15 Party Walls**

The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:

carry out work to an existing party wall;

build on the boundary with a neighbouring property;

in some circumstances, carry out groundworks within 6 metres of an adjoining building.

Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning & Community Services Reception Desk, Level 3, Civic Centre, Uxbridge, UB8 1UW.

#### **5 16 Property Rights/Rights of Light**

Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

#### **6 115 Control of Environmental Nuisance from Construction Work**

Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with:-

A. Demolition and construction works which are audible at the site boundary shall only be carried out between the hours of 08.00 and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays, Bank or Public Holidays.

B. All noise generated during such works shall be controlled in compliance with British Standard Code of Practice BS 5228:2009.

C. Dust emissions shall be controlled in compliance with the Mayor of London's Best Practice Guidance' The Control of dust and emissions from construction and demolition.

D. No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit ([www.hillingdon.gov.uk/noise](http://www.hillingdon.gov.uk/noise) Tel. 01895 250155) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

**7**            I47            **Damage to Verge**

The Council will recover from the applicant the cost of highway and footway repairs, including damage to grass verges.

Care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense.

For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

**8**

You are advised that you will need to make an application to the Council's Highways Department, 4 North, Civic Centre, High Street, Uxbridge, UB8 1UW for the relocation of the street lighting column.

**9**

All tree work should be carried out in accordance with the recommendations of BS3998:2010 'Tree Work-Recommendations'.

**10**

You are advised that the development hereby approved represents chargeable development under the Mayor's Community Infrastructure Levy. At this time the Community Infrastructure Levy is estimated to be £9,518.21 which is due on commencement of this development. The actual Community Infrastructure Levy will be calculated at the time your development is first permitted and a separate liability notice will be issued by the Local Planning Authority. Should you require further information please refer to the Council's Website [www.hillingdon.gov.uk/index.jsp?articleid=24738](http://www.hillingdon.gov.uk/index.jsp?articleid=24738).

**11**            I59            **Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies. On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

**12**            I52            **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**13**            I53            **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 6.13	(2015) Parking
LPP 7.14	(2015) Improving air quality
LPP 7.2	(2015) An inclusive environment
LPP 7.21	(2015) Trees and woodland
LPP 7.3	(2015) Designing out crime
LPP 7.6	(2015) Architecture

### 3. CONSIDERATIONS

#### 3.1 Site and Locality

The application site is located on the western side of Windmill Hill, some 25m to the north of its junction with West Hatch Manor, at a point where the road divides to form a central grassed island which acts as an elongated roundabout at the junction of Windmill Hill with West Hatch Manor and Old Hatch Manor.

The site currently forms approximately 20m depth of the rearmost part of the garden to No.26a Windmill Hill and contains a detached garage. No. 26a Windmill Hill is a detached gable end house with low side eaves with half dormer windows.

This is an established residential area which predominantly comprises similar detached properties of varying design. The site is located towards the top of a hill which does allow views out between the buildings towards the surrounding areas. This and neighbouring gardens contain a number of trees, one of which, an Ash on the boundary of the adjoining rear garden at No.33 West Hatch Manor, is protected by Tree Preservation Order No. 678.

The site lies within the Developed Area as identified in the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### 3.2 Proposed Scheme

The application seeks planning permission to erect a chalet style dwelling with a gable ended roof in the rear garden area of No.26a Windmill Hill and set adjacent to No.26 Windmill Hill. The existing garage would be demolished.

The new plot forms part of the current rear garden of No.26a, which abuts Windmill Hill. The garden to the immediate rear of the donor property would be retained (retaining a depth of approximately 8m), with the existing garden being divided by a 1.8m high close boarded fence to create the new plot in the rear half of the existing garden.

The resultant new plot would have a width of 19m and a depth of 11m at its narrowest point, but due to the splayed nature of the road would have a frontage onto Windmill Road of 28m

The proposed dwelling would front onto Windmill Hill and would be of a chalet bungalow style, with a pitched roof with gabled ended front and rear of the building. A gabled roof is proposed on the south-east elevation. It would have a footprint of 62 square metres within the 276sq metre plot. The internal floorspace would be 91sq.metres.

The ground floor would comprise of an entrance hall, kitchen/dining, living room, study and WC facilities. On the upper floor, contained within the roofspace the accommodation would comprise two bedrooms and a bathroom. This would be served by five rooflights on either side of the roof slope and a dormer window and gabled window on the front elevation. Elevations are proposed to be white render, with a red tiled roof.

The amenity space would be located to the rear and side of the property, totalling some 100m<sup>2</sup> in area and retaining 85m<sup>2</sup> of private amenity space for No.26A.

A car parking space would be provided to the front of the building and adjacent No. 26 Windmill Hill. The proposed car parking area is indicated as being provided in the form of a recycled, inter-locking plastic grid system allowing the driveway to be permeable and self draining whilst also allowing grass to naturally grow through.

The application is a resubmission of planning application 67242/APP/2013/2580, which was dismissed at appeal. The current scheme differs from the previously refused scheme by extending the width of the property, removing a rear gable window and adding a front dormer window. The proposal would also increase from a one-bed to a two-bed dwelling.

### 3.3 Relevant Planning History

67242/APP/2011/145 Land Forming Part Of 26a Windmill Hill Ruislip

Two storey, three-bedroom, detached dwelling with associated parking and amenity space and installation of vehicular crossover to front of No 26a

**Decision:** 22-04-2011 Withdrawn

67242/APP/2011/2651 Land Forming Part Of 26a Windmill Hill Ruislip

One storey, 1-bed, detached dwelling with habitable roofspace with associated parking and amenity space involving demolition of existing detached garage

**Decision:** 02-02-2012 Refused **Appeal:** 18-09-2012 Dismissed

67242/APP/2013/2580 Land Forming Part Of 26a Windmill Hill Ruislip

Single storey, 1-bed, detached dwelling with habitable roofspace with associated parking and amenity space involving demolition of existing garage

**Decision:** 11-11-2013 Refused

**Appeal:** 12-09-2014 Dismissed

#### **Comment on Relevant Planning History**

67242/APP/2013/2580: An application for single storey, 1-bed, detached dwelling with habitable roofspace with associated parking and amenity space involving demolition of existing garage, which was dismissed at appeal. The inspector concluded "the proposed development would, due to its narrow building width and thereby incongruous built form, harm the character and appearance of the surrounding area. I consider the plot size and openness would be acceptable and that the protected tree would not be unreasonably harmed by the proposal but these positive aspects are outweighed by the harm caused by the appearance of the proposed dwelling."

67242/APP/2011/2651: An application for a one storey, 1-bed, detached dwelling with habitable roofspace with associated parking and amenity space involving demolition of existing detached garage, which was refused and dismissed at appeal.

67242/APP/2011/145: An application for a two storey dwelling on this site was submitted but subsequently withdrawn by the applicant in April 2011.

41245/A/89/1934: Whilst not in relation to this application site, this application in respect of 28 Windmill Hill was granted in April 1990, and relates to an infill property, now known as 28a Windmill Hill. The applicant cites that the current application is similar to this development. However, it should be noted that this was granted and constructed before currently adopted guidance and that the length of the plot is larger than that of the current application.

#### **4. Planning Policies and Standards**

The proposed development is assessed against the Development Plan Policies contained within Hillingdon Local Plan: Part 1, Saved Unitary Development Plan policies, the London Plan 2011, the NPPF and supplementary planning guidance prepared by both LB Hillingdon and the GLA.

#### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LPP 6.13	(2015) Parking
LPP 7.14	(2015) Improving air quality
LPP 7.2	(2015) An inclusive environment
LPP 7.21	(2015) Trees and woodland
LPP 7.3	(2015) Designing out crime
LPP 7.6	(2015) Architecture

## 5. Advertisement and Site Notice

5.1 Advertisement Expiry Date:- Not applicable

5.2 Site Notice Expiry Date:- Not applicable

## 6. Consultations

### External Consultees

12 adjoining and nearby properties notified of the application by means of a letter dated 3rd February 2015. A site notice was also displayed on 8th February 2015.

The application has been requested by a Councillor to be determined at committee and a petition received with 25 signatures objecting to the application.

Four letters of representations have been received with the following summarised objections:

1. Garden grabbing. If this application is approved it will set a precedent allowing other gardens to be developed surrounding this island thus changing this part of Ruislip.
2. Highway safety concerns.
3. This application is requiring branches to be cut to allow the build and is not keeping as stated in a previous application to not come beyond the rear of the existing garage as it was felt it would put pressure on the Ash tree.
4. Size of dwelling in this location - When walking up from Ruislip Manor to the top of Windmill Hill, the longitude island has a distinctive character of openness and a premium vision down to Ruislip Woods. The building of a new dwelling of this size in the back garden of 26a Windmill Hill would significantly reduce the openness and character of the area.
5. Afforded outlook - There is none to one of the bedrooms.
6. Roof skylights of bedroom and bathroom are overlooked/into from two windows on side elevation from number 26 Windmill Hill - These windows have openers.

Ruislip Residents Association:

We are writing in support of local neighbour concerns over this proposal which is considered to be 'back garden development' and if granted would lead to reduced distinctive openness between existing dwellings, impact on the existing tree line including protection of the tree with a TPO order in the adjoining garden of 33 West Hatch Manor, and would not be in keeping with the current street scene.

From a traffic point of view whilst given a dropped curb has been installed to promote better access to 26a there is no drive and a roundabout at this point could lead to additional dangers. It would be appreciated if these views could be fully taken into account and having regard to previous applications submitted for this site would request that this latest application be put to full planning committee for decision.

(Officer comment: The above issues are discussed in the main body of the report).

### **Internal Consultees**

EPU comments:

No objection to the planning application.

Please note the highlighted comments below as informative

(1) INF 20 Control of environmental nuisance from construction work

Nuisance from demolition and construction work is subject to control under the Control of Pollution Act 1974, the Clean Air Act 1993 and the Environmental Protection Act 1990. You should ensure that the following are complied with:

(i) Demolition and construction works should only be carried out between the hours of 0800 and 1800 on Monday to Friday and between the hours of 0800 and 1300 on Saturday. No works should be carried out on Sundays, Public or Bank Holidays;

(ii) All noise generated during such works should be controlled in compliance with British Standard 5228, and use "best practicable means" as defined in section 72 of the Control of Pollution Act 1974;

(iii) Measures should be taken to eliminate the release of dust, odors and other emissions caused by the works that may create a public health nuisance. Guidance on control measures is given in "The control of dust and emissions from construction and demolition: best practice guidelines", Greater London Authority, November 2006; and

(iv) No bonfires that create dark smoke or cause nuisance to local residents should be allowed at any time.

You are advised to consult the Council's Environmental Protection Unit to seek prior approval under Section 61 of the Control of Pollution Act 1974 if you anticipate any difficulty in carrying out the works other than within the normal working hours set out above, and by means that would minimise disturbance to adjoining premises. For further information and advice, contact the Environmental Protection Unit, 3S/02 Civic Centre, High Street, Uxbridge, Middlesex UB8 1UW (tel. 01895 250155)

Highway comments:

a. An alternative off-street car parking space should be secured to compensate for the loss of existing garage for 26A Windmill Hill. I note a new crossover has been constructed (West Hatch Manor) but



cannot confirm whether the parking space has been provided.

b. There are no highway objections to the proposed development of the two bed detached dwelling and parking.

OFFICER COMMENT: The proposal shows the provision of 1 off-street parking space and associated hardstanding area for the proposed dwelling. Whilst the donor property would lose its garage as a result of the development, the property has off-street parking on an existing crossover from West Hatch Manor, which was given highway consent on 17.07.2013.

Access observations:

Permission is sought for the demolition of the existing detached garage and division of the plot for a chalet style 2 bedroom dwelling in the rear garden area of 26A Windmill Hill. The proposal is understood to include one off-street parking space.

In assessing this application, reference has been made to London Plan July 2011, Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document "Accessible Hillingdon" adopted May 2013. Compliance with all 16 Lifetime Home standards (as relevant) should be shown on plan.

The following access observations are provided:

1. Level access should be achieved. Details of level access to and into the proposed dwelling should be submitted. A fall of 1:60 in the areas local to the principal entrance and rear entrance should be incorporated to prevent rain and surface water ingress. In addition to a levels plan showing internal and external levels, a section drawing of the level access threshold substructure, and water bar to be installed, including any necessary drainage, should be submitted.

2. A minimum of one bathroom on the first floor should be designed in accordance with Lifetime Home standards. At least 700mm should be provided to one side of the WC, with 1100 mm provided between the front edge of the toilet pan and a door or wall opposite.

3. To allow the entrance level WC and first floor bathroom to be used as a wet room in future, plans should indicate floor gulley drainage.

4. The plans should indicate the location of a future 'through the ceiling' wheelchair lift.

Conclusion: revised plans should be requested as a prerequisite to any planning approval.

(Officer Comment: The imposition of a condition requiring compliance with Lifetime Homes standards would be adequate to secure the measures referenced by the Access officer and would be appropriate to secure compliance in this case).

Trees and Landscape comments:

TPO / Conservation Area: The site is adjacent to TPO 678

Significant trees / other vegetation of merit in terms of Saved Policy BE38 (on-site): There is a Silver Birch close to the boundary with 33 West Hatch Manor, however it is a low value tree and does not constrain the development.

Significant trees / other vegetation of merit in terms of Saved Policy BE38 (off-site): There is a large Ash (protected by TPO 678), a small Lawson Cypress and a Horse Chestnut adjacent to the site. The Ash is a high value tree, significantly contributes to the amenity and arboreal character of the area, and constrains the development of the site.

My previous concerns have been dealt with by the current submitted tree report, and there is no objection to the removal of the lowest limb (only) overhanging the site. However, the fact remains that Ash trees are ultimately very large, trees and there will still be inevitable pressure from any future occupants to remove or severely reduce the tree / its overhanging branches, which will be harmful to the tree's health, appearance and the long-term amenity and arboreal character of the area.

Conclusion (in terms of Saved Policy BE38): As it stands, this scheme is unacceptable because it will give rise to pressure to fell or reduce a high value protected Ash tree. The loss or heavy pruning of this tree would be harmful to the amenity and arboreal character of the area.

OFFICER COMMENT: The professional opinion of the Council's Trees and Landscape Officer is noted, however this has to be considered alongside the previous appeal decisions which were delivered by separate inspectors and are material planning considerations.

In respect of application 67242/APP/2011/2651 (appeal APP/R5510/A/12/2175095) the inspector concluded on this issue:

'In relation to the proximity of the tree to the building and its effects on the occupiers, the appellant states that leaf traps could be included in the design of the dwelling in order to ensure that debris from the tree does not affect the guttering. In relation to overshadowing, the tree would cast shade over part of the area that would be the garden, and over part of the building. The garden area is sufficiently large that undue pressure could be exerted for works to reduce or remove it. In relation to the rooms within the proposed dwelling, these are mainly double aspect and would receive light from other directions and would not be unacceptably affected by the tree. Therefore, in respect of this issue, it is considered that the proposal would not have an unacceptable effect on the Ash tree and would not lead to overriding pressure to significantly reduce or remove the tree. In this respect, the proposal complied with the aims of Policy BE38 of the UDP.'

In respect of application 67242/APP/2013/2580 (appeal APP/R5510/A/14/2212210) the inspector concluded on this issue:

'The crown of this tree has a high ground clearance and allows a significant degree of light through its branches. There is a living room and bedroom located at the south-western end of the proposed dwelling which would be closest to the protected tree. The living room would have a dual aspect facing towards both the south-east and south-west and the bedroom would be served by two rooflights. The absence of a significant degree of low branched near the proposed dwelling and the fenestration arrangements which would allow light and outlook from more than one direction in both of these rooms would mean that there would be acceptable levels of outlook within the dwelling.

There would also be an ample amount of outdoor garden space which would not be subject to tree cover or overshadowing. With these factors in mind I do not consider that there would be undue pressure places from future occupants of the proposed dwelling to undertake pruning works or even to seek the removal of the protected tree. This aspect of the proposed development would therefore comply with Policy BE38 of the UDP which seeks to retain and utilise landscape features of merit.'

Having considered the views, and reasoning, of the relevant consultee and Inspectors, officers are of the view that the proposal would comply with Policy BE38 and that refusal would not be justified.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

Given the residential use of the surrounding area, no objection is raised to the principle of the development of this site for residential purposes, subject to the scheme complying with all of the Council's adopted policies and guidance.

### **7.02 Density of the proposed development**

Paragraph 4.1 of HDAS Residential Layouts specifies that in new developments numerical densities are considered to be more appropriate to larger sites and will not be used in the assessment of schemes of less than 10 units, such as this proposal. The key consideration is therefore whether the development sits comfortably within its environment rather than a consideration of the density of the proposal.

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

Not Applicable to this application.

### **7.04 Airport safeguarding**

Not Applicable to this application.

### **7.05 Impact on the green belt**

Not Applicable to this application.

### **7.07 Impact on the character & appearance of the area**

Policy BE13 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) highlights the importance of designing new development to harmonise with the existing street scene whilst Policy BE19 seeks to ensure that new development within residential areas complements or improves the amenity and character of the area. Section 4.27 of the SPD: Residential Layouts, states careful consideration should be given to building lines, and these should relate well to the existing street pattern.

The area generally comprises a mix of houses and bungalows. The building would be set back from the front building line of the adjoining properties to the north, to provide a staggered relationship with the side elevation of No 26a Windmill Hill.

The Council's SPD: Residential Layouts, Section 5.11 states the form and type of development should be largely determined by its townscape context, and that it should relate to the scale and form of their surroundings. The proposal has increased from a one-bedroom property from the refused scheme to a two-bedroom property and increased the width of the property facing Windmill Road. This addresses the previous refusal reason and concerns raised by the planning inspector commenting "the proposed development would, due to its narrow building width and thereby incongruous built form, harm the character and appearance of the surrounding area."

The previous scheme designed the proposed house to follow the design of the existing garage. The current scheme has designed the proposed house with careful consideration of neighbouring houses, in terms of width, proportions, height and design.

It is considered that the development would have an acceptable impact on the local distinctiveness of the area in terms of design, scale, massing and layout. As such, the proposal would be in compliance with Policies BE13 and BE19 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

### **7.08 Impact on neighbours**

With regard to the impact of the amenities in relation to loss of light, outlook, or over-domination to the adjoining occupiers, Sections 4.9 of the SPD: Residential Layouts, in relation to new dwellings, states all residential developments and amenity space should

receive adequate daylight and sunlight, including habitable rooms and kitchens. The daylight and sunlight available to adjoining properties should be adequately protected. Adequate distance should be maintained to overcome possible over-domination, and 15m will be the minimum acceptable distance.

The application would comply with this advice as there would be no properties situated directly to the rear of the proposal, and whilst the development would be situated to the rear of No. 26a, a distance of 15m would be maintained.

It is considered that the proposal would not cause an unacceptable loss of light or outlook to adjoining occupiers, given that the majority of the accommodation is contained at ground floor level only. First floor windows are in the form of rooflights on the roofslope and due to these windows at an angle, they would not directly overlook neighbouring properties. Therefore the proposal would in this respect comply with Policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

With regard to any shadow that would be cast by the proposal, whilst some shadow may be cast on the rear gardens of neighbouring properties this would be minimal and not sufficient to warrant the refusal of planning permission on these grounds alone. The proposal therefore would accord with Policies BE20 and BE21 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **7.09 Living conditions for future occupiers**

Section 4.7 of the SPD: Residential Layouts, states careful consideration should be given to the design of the internal layout and that satisfactory indoor living space and amenities should be provided. The London Plan, adopted in 2015, overrides the Council's space standards and this is a material consideration in this application.

London Plan Policy 3.5 seeks to ensure that all new housing development is of the highest quality, both internally and externally and in relation to their context.

The London Plan sets out the minimum internal floor space required for new housing development in order to ensure that there is an adequate level of amenity for existing and future occupants. Table 3.3 requires a 2 storey, 2 bedroom, 4 person dwelling, to have a minimum size of 83 sq.m. The proposed new dwellings would be approximately 91sq.m and would comply with the required standard resulting in a satisfactory residential environment for future occupiers, in compliance with Policy 3.5 and Table 3.3 of the London Plan and Policy BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012)

Section four of the Council's HDAS: Residential Layouts states that developments should incorporate usable attractively laid out and conveniently located garden space in relation to the dwellings they serve. It should be of an appropriate size, having regard to the size of the houses and the character of the area.

The minimum level of amenity space required for a two bedroom house is 60sq.m of amenity space to meet the standard. The scheme provides some 100 sq.metres and would thus far exceed these standards.

The proposal would also result in the loss of a significant amount of amenity space for the donor property, which with 3 beds would normally be expected to have at least 60sqm of amenity space. Approximately 85sq.metres would be retained and parking provision would

be provided to the front of the property along West Hatch Manor.

The proposed bedrooms would have rooflights on the roofslope and a front window and would therefore not be overlooked by adjoining properties.

It is also considered, that all the proposed habitable rooms would maintain an adequate outlook and source of natural light, therefore complying with Policy 3.5 of the London Plan (2015).

#### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

The proposal shows the provision of 1 off-street parking space and associated hardstanding area for the proposed dwelling. Whilst the donor property would lose its garage as a result of the development, the property has off-street parking on an existing crossover from West Hatch Manor, which was given highway consent on 17.07.2013.

The proposal would therefore comply with the Council's approved car parking standards and Policies AM7(ii) and AM14 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

#### **7.11 Urban design, access and security**

Urban design issues have been covered elsewhere in the report and with regard to access and security, conditions would ensure compliance with these requirements.

#### **7.12 Disabled access**

See section 7.11

#### **7.13 Provision of affordable & special needs housing**

Not Applicable to this application.

#### **7.14 Trees, Landscaping and Ecology**

There is a large Ash (protected by TPO 678), a small Lawson Cypress and a Horse Chestnut adjacent to the site. The Ash is a high value tree, significantly contributes to the amenity and arboreal character of the area, and constrains the development of the site.

Previous concerns have been dealt with by the current submitted tree report, and there is no objection to the removal of the lowest limb (only) overhanging the site. The Planning Inspector commented there would be an ample amount of outdoor garden space which would not be subject to tree cover or overshadowing. With these factors in mind, it is considered that there would not be undue pressure placed from future occupants of the proposed dwelling to undertake pruning works or even to seek the removal of the protected tree. This aspect of the proposed development would therefore comply with saved policy BE38 of the Local Plan which seeks to retain and utilise landscape features of merit.

#### **7.15 Sustainable waste management**

Although there is no requirement for proposals for residential houses with their own curtilages to show the provision to be made for refuse and recycling storage, the submitted plans do show hardstanding area for bins with a 2.2m high hedge screen and planting. This provision is considered adequate.

#### **7.16 Renewable energy / Sustainability**

A condition is recommended to ensure that the utilisation of water within the dwelling is minimised in accordance with adopted planning policy.

#### **7.17 Flooding or Drainage Issues**

The site does not fall within a Flood Zone and therefore the proposed development is not at potential risk of flooding.

### **7.18 Noise or Air Quality Issues**

Not Applicable to this application.

### **7.19 Comments on Public Consultations**

None received.

### **7.20 Planning Obligations**

The Council adopted its own Community Infrastructure Levy (CIL) on August 1st 2014 and the Hillingdon CIL charge for residential developments is £95 per square metre of additional floorspace. This is in addition to the Mayoral CIL charge of £35 per sq metre.

Therefore the Hillingdon & Mayoral CIL Charges for the proposed development of 364sq metres of additional floorspace are as follows:

Hillingdon CIL = £6,840.00

Mayoral CIL = £2,678.21

Total = £9,518.21

### **7.21 Expediency of enforcement action**

There are no enforcement issues.

### **7.22 Other Issues**

None.

## **8. Observations of the Borough Solicitor**

### **General**

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

### **Planning Conditions**

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

### **Planning Obligations**

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale

and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

#### Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

#### **9. Observations of the Director of Finance**

<http://lbh-planora01:8081/PlanningOfficerModule2/collation?application=67242/APP/2015/188>

#### **10. CONCLUSION**

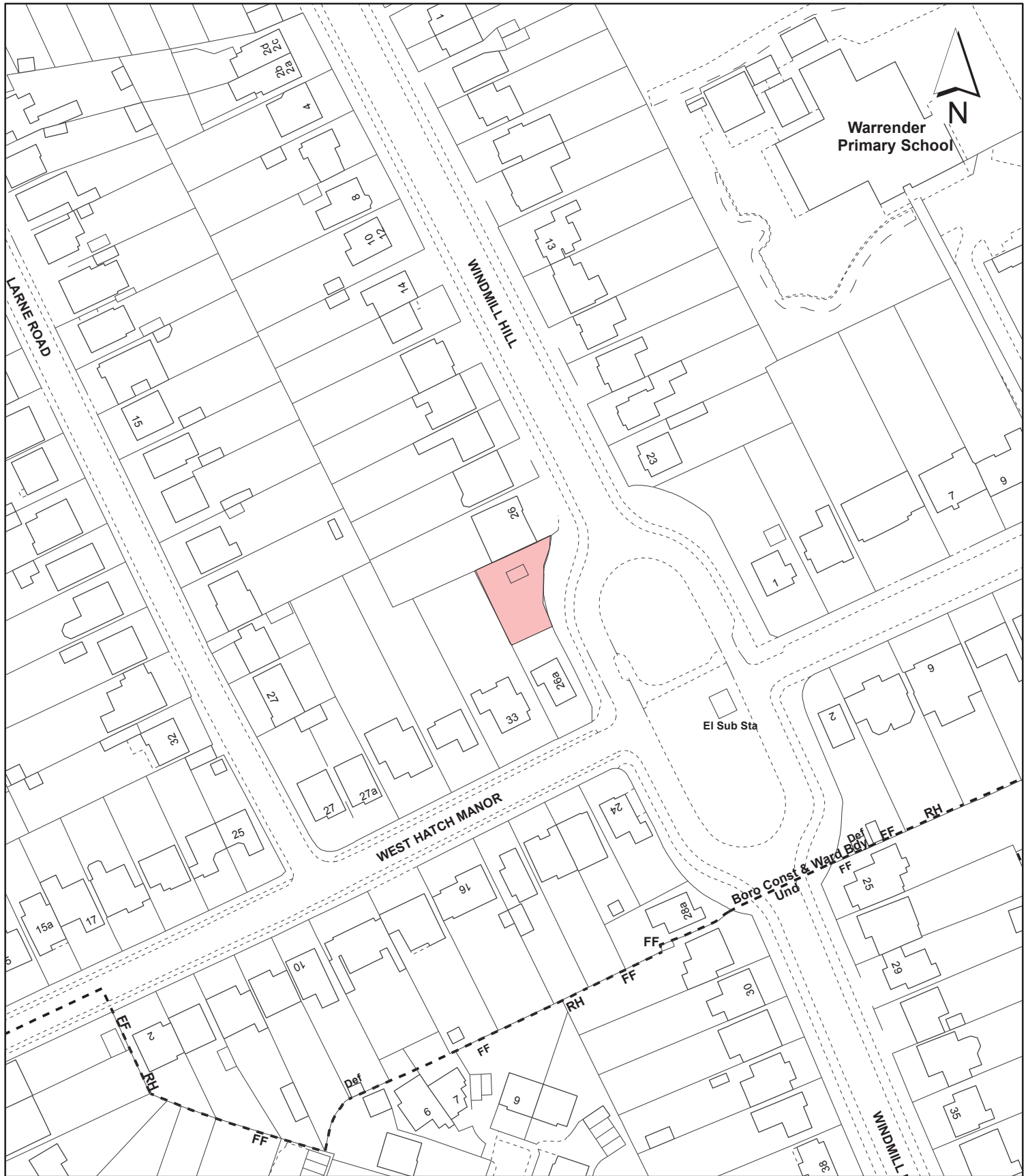
It is considered that the principle of one new house on this site is acceptable, and that the proposed building and use would not be harmful to the character and appearance of the street scene, nor the amenities of nearby residents. Parking and highway safety matters and the protection of trees are also satisfactory. The application accords with the Council's planning policies and is therefore recommended for approval, subject to appropriate conditions.

#### **11. Reference Documents**

Hillingdon Local Plan (November 2012)  
London Plan (July 2015)  
National Planning Policy Framework  
HDAS: Residential Layouts  
Supplementary Planning Guidance - Community Safety by Design  
Supplementary Planning Guidance - Noise  
Supplementary Planning Guidance - Air Quality  
HDAS: Accessible Hillingdon

**Contact Officer:** Mandeep Chaggar

**Telephone No:** 01895 250230



Warrender  
Primary School



**Notes:**

 Site boundary

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Site Address:

**Land forming part of 26A  
 Windmill Hill  
 Ruislip**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:  
**67242/APP/2015/188**

Scale:  
**1:1,250**

Planning Committee:  
**North Page 26**

Date:  
**July 2015**



**HILLINGDON**  
 LONDON



## Report of the Head of Planning, Sport and Green Spaces

**Address** 2 PARK AVENUE RUISLIP

**Development:** Two storey rear extension

**LBH Ref Nos:** 11331/APP/2015/807

**Drawing Nos:** Location Plan  
15/2875/1  
15/2875/2  
15/2875/3  
15/2875/4  
15/2875/5

**Date Plans Received:** 05/03/2015

**Date(s) of Amendment(s):**

**Date Application Valid:** 12/03/2015

### 1. CONSIDERATIONS

#### 1.1 Site and Locality

The application relates to a two-storey detached property located on Park Avenue, situated to the north of the River Pinn. The application site is rectangular with hardstanding to the front and spacious garden to the rear which is south facing. The area is predominately residential in character and appearance, consisting of mainly detached and semi-detached properties.

The site is situated within a Developed Area as identified in the policies of the Hillingdon Local Plan (November 2012).

#### 1.2 Proposed Scheme

The application seeks planning permission for a two-storey rear extension. The proposed two-storey rear extension would have a depth of 3.3m from the original rear building line for the full height and a width of 6.4m. The roof is to be pitched with a height of 5m to the eaves and 8m to the apex, matching the main roof height.

The proposal at ground floor would accommodate a larger open-plan kitchen / diner and family room area. At first floor an additional en suite bedroom would be created.

#### 1.3 Relevant Planning History

##### Comment on Planning History

There is no relevant planning permission relating to this application site. However, there are a number of planning permissions in the vicinity which are relevant to consideration.

9119/6269 - granted permission for a two storey rear extension at 4 Park Avenue in April 1969. This extension has been erected and is on site.

63420/APP/2007/3788 - granted permission for the erection of a single storey side and rear extension and two storey rear extension at no. 6 Park Avenue. The depth of the two storey rear extension was 3.6m deep. This extension has been erected and is on site.

## **2. Advertisement and Site Notice**

**2.1** Advertisement Expiry Date:- Not applicable

**2.2** Site Notice Expiry Date:- Not applicable

## **3. Comments on Public Consultations**

9 neighbouring properties were consulted and South Ruislip Residents Association letter dated 16.3.15 and a site notice was displayed on 11.4.15. Objections from two neighbouring properties and a petition were received, in summary raising the following issues:

- overall two storey elevation, will come all along the back of my garden, whilst at the moment only half of the house does. The height and size of the proposed extension will block off the light and will completely block my view.
- At present my property has uninterrupted view and light access, this will be completely compromised and I will be left looking at a brick wall . The other issue is for two windows to overlook my house and garden.
- At present I am not overlooked and have complete privacy. This shall remove my privacy to my garden and rear of my house.
- The extension will block out a considerable amount of light available from our garden.

## **4. UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

Part 2 Policies:

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE22 Residential extensions/buildings of two or more storeys.

BE23 Requires the provision of adequate amenity space.

HDAS-EXT Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

LPP 3.5 (2015) Quality and design of housing developments

## 5. MAIN PLANNING ISSUES

The main issues for consideration in determining this application relate to the impact upon the character and appearance of the original dwelling, the provision of acceptable residential amenity, the impact on the visual amenity of adjoining neighbours and parking provision.

With regard to the character and appearance of the original dwellinghouse, the two-storey rear extension would have a depth of 3.3m from the original rear building line of the dwellinghouse for the full height and a width of 6.4m. HDAS-EXT guidance states that a two-storey rear extension must appear subordinate to the main dwellinghouse and therefore should not exceed a depth of 4m with regard to a detached property. As such, this element of the proposal is not deemed excessive, in accordance with said guidance and compliant with policies BE13, BE15, and BE19 of the Hillingdon Local Plan (November 2012).

With regard to neighbouring residential amenity, HDAS-EXT guidance paragraph 6.2 states that a two-storey rear extension will only be allowed where there is no significant overdominance, loss of outlook and daylight. A first floor extension will only be acceptable where the 45-degree line of sight taken from the nearest of the first floor window of any room of the neighbouring property is not breached. The proposal is set-in from the shared boundary with no.4 Park Avenue by 1.2m and the garages run parallel with this boundary line. In addition, the west shared boundary abuts the rear gardens of properties on Bury Street and the properties are set a considerable distance away from the application property. As such, the 45-degree line of sight would not be breached mitigating any unacceptable loss of light to any habitable room window of any neighbouring occupier.

With regard to overlooking and loss of privacy, it is considered that the proposal would not lead to any greater loss of privacy to the neighbouring occupiers than is currently experienced from existing first floor windows. On this basis, the proposal would not impact on neighbouring amenity to an increased demonstrable level, compliant with BE20, BE21 and BE24 of the Hillingdon Local Plan: UDP Saved Policies (November 2012).

It is noted that there were objections from nos. 116 and 113 Bury Street and a petition including a number of residents on Bury Street which is on the return building line with gardens that back on to the application site. The distance from the subject property and neighbouring properties who have objected and signed the petition would be over 25m away. This is considered sufficient separation to ameliorate any potential loss of residential amenity.

Turning to the height of the proposal, the overall extension would have a pitched roof, with a height of 5m to the eaves and 8m to the apex matching the main roof height. HDAS-EXT guidance paragraph 5.8 states for detached houses the roof height of the extension should be equal to that of the main house. The proposal would be in accordance with said guidance and is therefore considered to have a sympathetic appearance, sustaining the character and appearance of the original dwellinghouse.

It is considered that all the proposed habitable rooms, and those altered by the development would be adequate, therefore complying with policy BE20 of the Hillingdon Local Plan saved policies (2012) and Policy 3.5 the London Plan (2011).

Garden amenity HDAS-EXT guidance states that sufficient garden space should be retained as a consequence of an extension. The proposal would reduce the amount of amenity space at the property. However, over 100sqm of amenity space would remain, which would satisfy

the minimum requirement for a property of this size, hence complying with BE23 of the Hillingdon Local Plan: UDP Saved Policies (2012).

With regard to the parking provision the proposal would create an addition bedroom and therefore would create extra demand for parking. However, the two car park space located to the front of the property would be compliant with Policy AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

For reasons given above, it is duly recommended that this application be approved.

## **6. RECOMMENDATION**

### **APPROVAL subject to the following:**

#### **1 HO1 Time Limit**

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### **REASON**

To comply with Section 91 of the Town and Country Planning Act 1990.

#### **2 HO2 Accordance with approved**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers 15/2875/1, 15/2875/5, 15/2875/3, 15/2875/4, and 15/2875/2.

#### **REASON**

To ensure the development complies with the provisions of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2015).

#### **3 HO4 Materials**

The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building and shall thereafter be retained as such.

#### **REASON**

To safeguard the visual amenities of the area and to ensure that the proposed development does not have an adverse effect upon the appearance of the existing building in accordance with Policy BE15 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

#### **4 HO5 No additional windows or doors**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification), no additional windows, doors or other openings shall be constructed in the walls or roof slopes of the development hereby approved facing no. 4 Park Avenue.

#### **REASON**

To prevent overlooking to adjoining properties in accordance with policy BE24 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

## INFORMATIVES

### Standard Informatives

- 1 The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2 The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

#### Part 1 Policies:

PT1.BE1 (2012) Built Environment

#### Part 2 Policies:

AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
LPP 3.5	(2015) Quality and design of housing developments

- 3 You are advised this permission is based on the dimensions provided on the approved drawings as numbered above. The development hereby approved must be constructed precisely in accordance with the approved drawings. Any deviation from these drawings requires the written consent of the Local Planning Authority.
- 4 You are advised that if any part of the development hereby permitted encroaches by either its roof, walls, eaves, gutters, or foundations, then a new planning

application will have to be submitted. This planning permission is not valid for a development that results in any form of encroachment.

- 5 Your attention is drawn to the need to comply with the relevant provisions of the Building Regulations, the Building Acts and other related legislation. These cover such works as - the demolition of existing buildings, the erection of a new building or structure, the extension or alteration to a building, change of use of buildings, installation of services, underpinning works, and fire safety/means of escape works. Notice of intention to demolish existing buildings must be given to the Council's Building Control Service at least 6 weeks before work starts. A completed application form together with detailed plans must be submitted for approval before any building work is commenced. For further information and advice, contact - Planning, Environment and Community Services, Building Control, 3N/01 Civic Centre, Uxbridge (Telephone 01895 250804 / 805 / 808).
- 6 You have been granted planning permission to build a residential extension. When undertaking demolition and/or building work, please be considerate to your neighbours and do not undertake work in the early morning or late at night or at any time on Sundays or Bank Holidays. Furthermore, please ensure that all vehicles associated with the construction of the development hereby approved are properly washed and cleaned to prevent the passage of mud and dirt onto the adjoining highway. You are advised that the Council does have formal powers to control noise and nuisance under The Control of Pollution Act 1974, the Clean Air Acts and other relevant legislation. For further information and advice, please contact - Environmental Protection Unit, 4W/04, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 250190).
- 7 The Party Wall Act 1996 requires a building owner to notify, and obtain formal agreement from, any adjoining owner, where the building owner proposes to:
  - carry out work to an existing party wall;
  - build on the boundary with a neighbouring property;
  - in some circumstances, carry out groundworks within 6 metres of an adjoining building.Notification and agreements under this Act are the responsibility of the building owner and are quite separate from Building Regulations, or Planning Controls. The Building Control Service will assume that an applicant has obtained any necessary agreements with the adjoining owner, and nothing said or implied by the Council should be taken as removing the necessity for the building owner to comply fully with the Party Wall Act. Further information and advice is to be found in "the Party Walls etc. Act 1996 - explanatory booklet" published by the ODPM, available free of charge from the Planning, Environment and Community Services Reception, Civic Centre, Uxbridge, UB8 1UW.
- 8 Your attention is drawn to the fact that the planning permission does not override property rights and any ancient rights of light that may exist. This permission does not empower you to enter onto land not in your ownership without the specific consent of the owner. If you require further information or advice, you should consult a solicitor.

9 Nuisance from demolition and construction works is subject to control under The Control of Pollution Act 1974, the Clean Air Acts and other related legislation. In particular, you should ensure that the following are complied with: -

A) Demolition and construction works should only be carried out between the hours of 08.00 hours and 18.00 hours Monday to Friday and between the hours of 08.00 hours and 13.00 hours on Saturday. No works shall be carried out on Sundays Bank and Public Holidays.

B) All noise generated during such works should be controlled in compliance with British Standard Code of Practice BS 5228: 1984.

C) The elimination of the release of dust or odours that could create a public health nuisance.

D) No bonfires that create dark smoke or nuisance to local residents.

You are advised to consult the Council's Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel.01895 277401) or to seek prior approval under Section 61 of the Control of Pollution Act if you anticipate any difficulty in carrying out construction other than within the normal working hours set out in (A) above, and by means that would minimise disturbance to adjoining premises.

10 You are advised that care should be taken during the building works hereby approved to avoid spillage of mud, soil or related building materials onto the pavement or public highway. You are further advised that failure to take appropriate steps to avoid spillage or adequately clear it away could result in action being taken under the Highways Act.

11 To promote the development of sustainable building design and construction methods, you are encouraged to investigate the use of renewable energy resources which do not produce any extra carbon dioxide (CO2) emissions, including solar, geothermal and fuel cell systems, and use of high quality insulation.

12 You are advised that care should be taken during the building works hereby approved to ensure no damage occurs to the verge or footpaths during construction. Vehicles delivering materials to this development shall not override or cause damage to the public footway. Any damage will require to be made good to the satisfaction of the Council and at the applicant's expense. For further information and advice contact - Highways Maintenance Operations, Central Depot - Block K, Harlington Road Depot, 128 Harlington Road, Hillingdon, Middlesex, UB3 3EU (Tel: 01895 277524).

**Contact Officer:** Scott Hackner

**Telephone No:** 01895 250230



**Notes:**

 Site boundary

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Site Address:

**2 Park Avenue  
 Ruislip**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:  
**11331/APP/2015/807**

Scale:  
**1:1,250**

Planning Committee:  
**North Page 34**

Date:  
**July 2015**



**HILLINGDON**  
 LONDON



## Report of the Head of Planning, Sport and Green Spaces

**Address** 2 RAISINS HILL EASTCOTE PINNER

**Development:** Part two storey, part single storey side/rear extension and conversion of roofspace to habitable use to include 2 rear dormers, 2 side rooflights and 1 front rooflight

**LBH Ref Nos:** 32216/APP/2015/517

**Drawing Nos:** RH2-1003A  
RH2-1004A  
RH2-1005B  
RH2-1006  
RH2-1001  
RH2-1002

**Date Plans Received:** 10/02/2015      **Date(s) of Amendment(s):** 10/02/0015

**Date Application Valid:** 20/02/2015

### 1. CONSIDERATIONS

#### 1.1 Site and Locality

The application relates to a two storey, detached dwelling located on the west side of Raisins Hill. The building is set back from the main highway and benefits from an attached garage, a driveway and a garden to the front of the site. The site benefits from a large side and rear garden which is flat in nature. The dwelling is characterised by a centrally pitched hipped roof to all sides and feature bay windows in the principal elevation. The dwelling is finished with brick and tile hanging to the front elevation.

There is a hardstanding to the front of the dwelling that has sufficient space to park one additional car.

The site is adjoined by detached dwellings to the northwest and southeast of the site. The street scene is residential in character with the surrounding dwellings along Raisins Hill being predominantly semi-detached interspersed with detached houses of a similar character and appearance to one another.

The application site lies within the developed area and an Area of Special Local Character as identified in the adopted Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

#### 1.2 Proposed Scheme

The application is for planning permission for the erection of part two storey and part single storey rear side extensions and part single storey part two storey rear extension and alterations to the front elevation.

The applicant also proposes the conversion of the roofspace to habitable room to

incorporate to dormers and 3 x rooflights. The proposed rear element would project 5.55m overall from the rear elevation of the main dwelling.

The proposed two storey side element to the southeast flank would measure 5.75m in width at the ground floor and 4.9m at first floor level with overall depth of 13.60m at ground floor and 11.20m at first floor.

The two storey side extension to the northwest flank would be 2.6m wide would be erected in line with the rear extensions and would be characterised with a crown roof which would be erected to the same ridge and eaves height as the main dwelling.

Two high level roof lights would be inserted to the southeastern flank roof slope and 1 high level roof light be inserted in the northwestern flank roof slope.

each of the proposed rear dormers would measure 1.5m in width and 1.8m in height.

The proposed would also involve alterations to the front elevation of the existing attached garage.

The proposed extensions would provide an en suite bedroom at ground floor level labelled as 'lounge', enlarged kitchen, family room, lounge, utility room and WC at ground floor level and an additional and enlarged bedrooms at first floor level and 'media room' within the roofspace.

### **1.3 Relevant Planning History Comment on Planning History**

There is no relevant planning history in connection with this planning application.

### **2. Advertisement and Site Notice**

**2.1** Advertisement Expiry Date:- Not applicable

**2.2** Site Notice Expiry Date:- Not applicable

### **3. Comments on Public Consultations**

EXTERNAL

21 local addresses were consulted by letter on 23.02.15 which expired on 16.03.15. 9 letters of objection and a petition with 53 signatures have been received objecting to the proposal on the following grounds:

- 1) The proposed will result in increase in size by 200% and will neither be subordinate nor subservient.
- 2) It is not in harmony with the streetscene.
- 3) Inadequate off-street car parking for potentially 7 bedroom house would impede emergency service access and inconvenient local residents.
- 4) The proposed side extension will result in loss of light and amenity to No. 4 raisins Hill.
- 5) There is the potential to carve the extended property into multiple dwellings with devatating consequences on the character and amenities of the locality.

6) The extensions' proximity to side boundaries would have overpowering visual impact on the street scene.

7) the application represents overdevelopment which would affect visual and residential amenity.

INTERNAL

Conservation and Urban Design Officer:

The design of the scheme is unacceptable in that it would not be subservient and the fenestration would not match the existing.

#### **4. UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

AM7 Consideration of traffic generated by proposed developments.

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE19 New development must improve or complement the character of the area.

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE22 Residential extensions/buildings of two or more storeys.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.

BE5 New development within areas of special local character

HDAS-EXT Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

LPP 3.5 (2011) Quality and design of housing developments

LPP 5.3 (2011) Sustainable design and construction

#### **5. MAIN PLANNING ISSUES**

The main issues for consideration in determining this application relate to the effect of the

proposal on the character and appearance of the original dwelling, the impact on the visual amenities of the surrounding Area of special Character, the impact on residential amenity of the neighbouring dwellings, provision of acceptable residential amenity for the application property and the availability of parking.

Guidelines within the Supplementary Planning Document HDAS: Residential extension allows two-storey side and rear extensions under certain criteria. Paragraph 5.1 requires all residential extensions of 2 or more storeys to be set back a minimum of 1m from any side boundary as this protects the character and appearance of the street scene and allows external access to the rear garden and rear part of the house. Paragraph 5.10 requires the width and height of the extension to be in relation to the original house and should be considerably less than the width of the original house and in any case no more than 3.5m wide. Fenestration should reflect the existing house and materials should match or complement the materials of the original house. Adequate garden space should be retained and in the case of a 4+ bed house this should be 100m<sup>2</sup>.

The HDAS also discusses rear and first floor extensions of which, on a detached house there is a general presumption against those where the extension would abut or come close with the adjoining house. Two-storey rear extensions are only allowed where there would be no significant over-dominance, over-shadowing, loss of outlook or loss of daylight and extensions at first floor level should not extend beyond a 45 degree line of sight. Two storey rear extensions should always appear subordinate and project no more than 4m from the rear elevation. Single-storey rear extension should not project more than 4m deep for details properties.

The overall design of the proposal does not accord with the guidelines within the HDAS. The new roofline would not be lower than the host dwelling. Two storey side extensions to detached houses are expected to be set back by 1m from the front building line to ensure a subordinate appearance to the existing house and the roof height of the extension on be lower by at least 0.5m below the ridge height of the host dwelling and the design of the roof should follow that of the existing roof. The proposed side extension would be flush with the front building line with the inclusion of a single storey front element thus creating a role reversal where the original dwelling now appears subordinate to the side extension. Both aspects of the design are contrary with the published guidelines within the HDAS.

The side wall of the extension to the northwest would be set in approximately 0.7m from side the boundary line which is also contrary to the set guidelines. The original dwelling is 6.25m wide with the front part of the extension measuring 5.75m wide, the side extensions would at parts be more than 2/3 the width of the original dwelling which does not satisfy the guidance within the HDAS.

The ground floor element of the rear extension would project 5.55m in depth. The two storey element of the rear extension is approximately 15m wide and only 0.7m from the common boundary with the northwestern neighbour. The upper storey would project 4m deep but given the separation distance this would accord with a 45 degree sight line. However, the first floor element taken together with the ground floor coupled with their proximity to the common boundary the dimensions of the rear extensions are not in accordance with the guidelines within the HDAS in that it would be almost the same depth as the original building thereby adversely impacting on the architectural integrity of the host building.

Although the proposal would be able to meet the internal, external amenity space and car parking requirements, when viewing the entire scheme, as a whole, the amount of built-form proposed wraps around the entire house and creates an over-developed appearance out of proportion with the scale, form and the simple architectural composition of the original dwelling. The crown roof form would poorly relate to the appearance of the main house.

The property lies within an area of special character and therefore new development would be expected to preserve or enhance those features which contribute to the special architectural and visual features. The property is situated in an exposed position on Raisins Hill with a lot of space around it and could be considered a prominent feature. This open space allows long views across Raisins Hill towards the property and the entire southeast and northwest sides of the property is easily seen. The Conservation officer has made a comment that the sheer width, size and height of the side extensions and lack of setbacks from the main ridge line would eclipse the main building.

It is considered the proposed full width at ground floor level combined with the proposed front fenestration which would not match the existing would sit uncomfortably with the fenestration of the front elevation. The overall height, design, bulk and the size of the extensions would contrast with the main house, be visually intrusive on the original design and proportions of the property and to the overall character of the area. As such, the proposal is contrary to the advice given within the (HDAS) Supplementary Planning Document - Residential Extensions and Policies BE5, BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and to the Council's Supplementary Planning Document HDAS: Residential Extensions.

The HDAS requires the retention of adequate garden space as a consequence of any proposed extensions. The proposal would create a 5 bedroom house of which there would be a minimum requirement of 100m<sup>2</sup> of private rear garden. In this case there would be more than 350sqm available which would be compliant with paragraph 4.9 of the HDAS and Policy 23 of the Hillingdon Local Plan-Part Two-Saved Policies (November 2012).

Policies AM7 and AM14 of the Hillingdon Local Plan-Part Two-Saved Policies (November 2012) require adequate off-street parking to remain. It is noted on the site visit that the site would be able to easily accommodate 2 additional parking which is acceptable as part of the front garden is already laid to hardstanding with a crossover onto the highway.

There is 1.8m closed boarded fence, topped with vegetation, along the site's common boundary with no. 4 Raisins Hill. The extension is not considered to have any impact on the residential amenities of the adjacent property at no. 4 Raisins Hill given that there are no side openings within No. 4 which would be deprived of daylight or be overshadowed or overlooked. In relation to the properties to the northwest no overlooking, loss of privacy or loss of daylight/sunlight would occur, given the separation distance.

On balance, it is considered that the proposal results in an over-development of this modest dwelling failing to harmonise with the original scale, architectural composition and proportions of the host and forms an incongruous addition detrimental to the visual amenities of the area of special character. The proposal does not accord with the guidelines within the HDAS and is contrary to Policies BE5, BE13, BE15, BE19, BE23 of the Hillingdon Local Plan-Part Two-Saved Policies (November 2012) and the recommendation is to refuse.

## 6. **RECOMMENDATION**

### **REFUSAL for the following reasons:**

**1 NON2 Non Standard reason for refusal**

The proposed two storey side extensions, by reason of their siting, size, scale, width, height and design, would fail to appear as a subordinate addition or harmonise with the character of the original house and would thus be detrimental to the appearance of the original house, the visual amenities of the street scene and the character and appearance of the Raisins Hill Area of Special Local Character. The proposal would therefore be contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE5, BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

**2 NON2 Non Standard reason for refusal**

The proposed extension, by reason of its siting in this open prominent position, size, scale and width would result in an unacceptable reduction of an important gap between nos. 2 and 4 Raisins Hill, resulting in a cramped appearance. The proposal would therefore represent an overdevelopment of the site to the detriment of the visual amenities, character and appearance of the Raisins Hill Area of Special Local Character and to this existing open area of the street scene. Therefore the proposal is contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE5, BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

### **INFORMATIVES**

- 1** On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2015). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

### **Standard Informatives**

- 1** The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

Part 1 Policies:

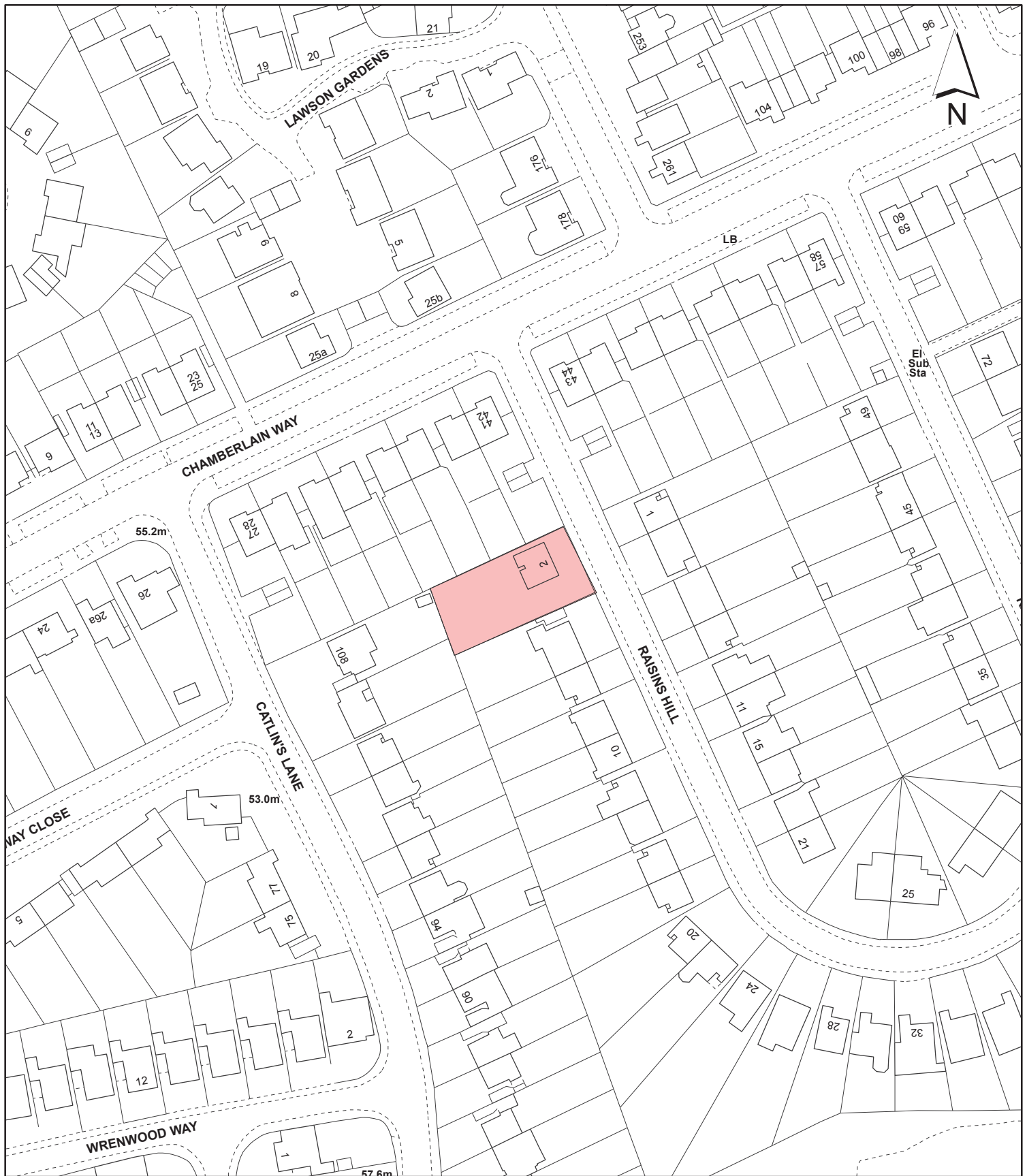
PT1.BE1	(2012) Built Environment
PT1.HE1	(2012) Heritage

Part 2 Policies:

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE5	New development within areas of special local character
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
LPP 3.5	(2011) Quality and design of housing developments
LPP 5.3	(2011) Sustainable design and construction

**Contact Officer:** Peter Korankye-Gyabong

**Telephone No:** 01895 250230



**Notes:**

 Site boundary

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Site Address:

**2 Raisins Hill  
 Eastcote  
 Pinner**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:  
**32216/APP/2015/517**

Scale:  
**1:1,250**

Planning Committee:  
**North Page 42**

Date:  
**July 2015**



**HILLINGDON**  
 LONDON



## Report of the Head of Planning, Sport and Green Spaces

**Address** 7 MORFORD WAY EASTCOTE

**Development:** Conversion of roof space to habitable use to include a rear dormer, 2 rear roof lights, 2 front roof lights, new window in western side roof and conversion of roof from hip to gable ends (removal of chimney stack in rear roof)

**LBH Ref Nos:** 42971/APP/2015/1629

**Drawing Nos:** Location Plan  
007/MOR/002 Rev A  
Supporting Photo  
Supporting Photo (2)  
Supporting Photo (1)

**Date Plans Received:** 01/05/2015

**Date(s) of Amendment(s):** 01/05/0015

**Date Application Valid:** 12/05/2015

## 1. CONSIDERATIONS

### 1.1 Site and Locality

The application site is located on the southern side of Morford Way, Eastcote.

It comprises a two storey detached dwellinghouse with a main hipped roof and a recessed cat-slide roof feature to the western side. There is a single storey projection to the western side and an attached garage to the eastern side, behind which is a detached mono-pitched structure. There are two bay projections (with pitched roof canopies) to the rear. There are two chimney stacks in the eastern side and rear roofs of the dwellinghouse.

To the west of the application property is No.9 Morford Way, which has single storey side and rear extensions (incorporating a garage and a conservatory). To the east is the extensively wide property at No.5 Morford Way, which has a single storey rear extension. The rear garden of the application property is bounded by dense vegetation in the form of tall trees, and it adjoins the rear gardens of 10, 12 and 14 Elm Avenue to the south.

The streetscene is residential in character and appearance, and it comprises a mix of two storey detached and semi-detached dwellinghouses with mainly hipped roofs.

The application site lies within the Eastcote: Morford Way Conservation Area and the 'Developed Area' as identified in the Hillingdon Local Plan: Part One - Strategic Policies (November 2012).

### 1.2 Proposed Scheme

The application seeks planning consent for the conversion of the existing roof space to habitable use to include a rear dormer, 2 rear rooflights, 2 front rooflights and conversion of the hipped roof to gable ends. The existing chimney stack in the rear roof would be removed to allow for the rear dormer. A new window would also be inserted in the western side of the

converted roof.

### 1.3 Relevant Planning History

42971/APP/2014/149 7 Morford Way Eastcote Ruislip

Single storey rear extension involving demolition of existing conservatory (Application for a Certificate of Lawful Development for a Proposed Development)

**Decision Date:** 20-02-2014      **Approved**      **Appeal:**

42971/APP/2015/836 7 Morford Way Eastcote

Conversion of roof space to habitable use to include a rear dormer, 2 front roof lights and 2 rear roof lights and conversion of roof from hip to part gable end with a new gable end window (Application for a Certificate of Lawful Development for a Proposed Development)

**Decision Date:** 13-04-2015      **Refused**      **Appeal:**

#### Comment on Planning History

42971/APP/2015/836 - Conversion of roof space to habitable use to include a rear dormer, 2 front roof lights and 2 rear roof lights and conversion of roof from hip to part gable end with a new gable end window (Application for a Certificate of Lawful Development for a Proposed Development).

Decision Date: 13/04/2015    Refused.

Refused for the following reason:

The proposed development does not constitute permitted development by virtue of the provisions of Schedule 2, Part 1, Class B of the Town and Country Planning (General Permitted Development) Order 1995 as amended by the Town and Country Planning (General Permitted Development) (Amendment) (No2) (England) Order 2008 as the site is situated on article 1(5) land (within a Conservation Area).

42971/APP/2014/149 - Single storey rear extension involving demolition of existing conservatory (Application for a Certificate of Lawful Development for a Proposed Development).

Decision Date: 20/02/2014.

### 2. Advertisement and Site Notice

**2.1** Advertisement Expiry Date:- 17th June 2015

**2.2** Site Notice Expiry Date:- Not applicable

### 3. Comments on Public Consultations

Advertisement and Site Notice

Advertisement (Local Paper - Uxbridge Gazette) Expiry Date: 17th June 2015

Site Notice Expiry Date: 12th June 2015

The application is called into Committee by a Councillor. The Eastcote Residents' Association and seven neighbouring occupiers were consulted for a period of 21 days expiring on 4th June 2015.

One letter of objection was received from a neighbour, objecting on the following grounds: 7 Morford Way is situated in a declared Conservation Area. The proposed loft extension at number 7 will completely change the architectural form of the Conservation Area which has existed for the last 90 years. Therefore we ask that the change of roof shape from hip to gable ends, which is uncharacteristic for the Morford Way Conservation Area be rejected.

Objections were received from the following external consultees.

Eastcote Village Conservation Panel:

7, Morford Way is part of the Morford Way Conservation Area.

The architectural style of the CA is 'Arts & Crafts', and was the first development in Eastcote after the arrival of Metropolitan Line Underground service.

The estate was developed by Telling Bros, Architect Frank Osler. There has been very little change to the architectural form of the Conservation Area during the last 90 years. The unique Arts & Crafts character being mostly maintained.

One of the predominant character features, is the steep sloping roofs. This application will completely change the roofscape of the Conservation Area.

It is possible to install a loft room to this property, without destroying the visual aspects of the Conservation Area.

We would hope that the Conservation Officer would object to this change of roof shape from hip to gable ends, which are uncharacteristic for the Morford Way Conservation Area.

We ask that this application be refused

Ruislip, Northwood and Eastcote Local History Society:

The proposed changes will alter the look and proportions of the house with the roof shape changing from hip to gable end, which will be out of keeping with the other houses in the road. It will be detrimental to the character of the Arts and Crafts style houses designed by Frank Osler and built in the early 1920s for a garden suburb look. The application makes no mention of the house being located in the Morford Way Conservation Area and the special attention needed therefore to make sure that any changes do not detract from the area's character. The type of building materials to be used is not listed either so we do not know if they will be appropriate.

In view of the CHIPS report on this area a few years ago which indicated more positive action was needed to retain its special character and features, we request that this application be refused. The proposed roof extension will be obtrusive and detrimental to the look of the Morford Way Conservation Area.

Internal Consultee

Conservation and Urban Design Officers: The comments of the Conservation Officers are reflected in the 'Main Planning Issues' section of this report. The conclusion of the Conservation Officers comments is that the proposed scheme is unacceptable.

#### **4. UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

PT1.BE1 (2012) Built Environment

PT1.HE1 (2012) Heritage

Part 2 Policies:

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE22 Residential extensions/buildings of two or more storeys.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE4 New development within or on the fringes of conservation areas

HDAS-EXT Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

LPP 3.5 (2015) Quality and design of housing developments

#### **5. MAIN PLANNING ISSUES**

The main issues for consideration in determining this application relate to the impact of the proposal on the character and appearance of the application dwellinghouse, the impact on the visual amenities of the wider Conservation Area, the impact on residential amenity of the neighbouring occupiers and provision of adequate residential amenity for occupiers of the application property.

The streetscene and wider Conservation Area are characterised by various properties of the Arts and Crafts style, with several having existing full hipped roofs with steep slopes. The application property is prominent on the streetscene given its detached setting and the fact it is higher than the adjacent properties at Nos.5 and 9 Morford Way. The existing chimney stacks in the side and rear roofs are also prominent and these features add visual interest to the appearance of the property on the streetscene.

Whilst there is no objection in principle to the insertion of the 2 rear roof lights, 2 front roof lights and window in the western side roof (provided they are conservation flush style roof lights), the proposed conversion of the roof from hip to gable ends with associated rear dormer is considered unacceptable.

The proposed conversion of the sloped hip-ends of the roof to flat gable ends would unbalance the overall appearance of the dwellinghouse. As proposed, the gable ends would not have the full height of the existing hipped roof; they would be set down from the highest point of the roof on both sides by 1.1m. This would result in a roof form with a contrived and

awkward design and appearance. The increased bulk resulting from the converted roof is such that it would be an overly dominant feature, and be out of keeping in relation to the character, style and appearance of the original dwellinghouse. Therefore the proposed conversion of the roof from hip to gable ends is considered detrimental to the preservation of the character of the dwellinghouse and the wider Conservation Area. The proposal would be detrimental to the visual amenities of the surrounding area.

The proposed rear dormer would not comply with the requirements of the Council's HDAS SPD: Residential Extensions in terms of separation distances and adequate containment within the existing rear roof. As proposed, the dormer would measure 2.0m in width, 1.6m in depth and have a flat roof with a height of 1.7m. The rear dormer would be set down from the ridge of the roof by 1.2m and set above the eaves by 1.43m. However, the rear dormer would only be set in from the hip ends of the existing roof at the nearest points by approximately 0.4m. In and of itself, the rear dormer would not achieve adequate containment within the existing rear roof plane. The rear dormer would not represent a subordinate feature in the rear roof and it would have an incongruous appearance. When viewed in conjunction with the proposed gable ends, it would represent a visually intrusive form of development and would not satisfactorily harmonise with the character and appearance of the original dwellinghouse. Therefore, the proposed development fails to comply with Policies BE4, BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) and the adopted Supplementary Planning Document HDAS: Residential Extensions.

The Council's Conservation Officers have advised that a rear dormer may be achieved without the need to alter the existing hipped roof form. The size of the rear dormer would need to be significantly reduced and traditionally designed with a hipped roof form and hung tiles to the associated dormer cheeks. The fenestration would need to be in proportion or ideally smaller than the existing fenestration of the dwellinghouse, with the window filling the entire front elevation of the dormer.

With regards to the proposed window in the western side roof, which would serve a landing area, it is acknowledged that there are existing upper floor windows in side elevations of neighbouring properties that appear to serve landing areas and bathrooms. If this application proposal had been otherwise considered acceptable, it would be acceptable to condition this window to be obscure glazed and non opening below 1.8m to minimise any potential additional overlooking. The rear dormer window would offer views that would be no worse than those offered from the existing first floor rear windows. Given this consideration, the proposal would not have a significant impact to the residential amenity of the neighbouring occupiers at Nos.5 and 9 Morford Way in terms of loss of light, loss of outlook, overshadowing or increased overlooking, and is therefore in accordance with Policies BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

It is considered that all the proposed habitable rooms and those altered by the proposal would maintain an adequate outlook and source of natural light for host occupiers, therefore complying with Policy 3.5 of the London Plan.

Paragraph 3.13 of the HDAS SPD: Residential Extensions requires sufficient garden space to be retained as a consequence of an extension. There is no increase in footprint as a result of this proposal, so sufficient garden space will be retained for the amenity purposes of the host occupiers.

The proposal would have no impact on the existing off-street parking provision in the application site.

## 6. RECOMMENDATION

### REFUSAL for the following reasons:

#### 1 NON2 Non Standard reason for refusal

The proposed conversion of the roof from hip to gable ends in conjunction with a proposed rear dormer window, by reason of position, size, scale and contrived and poor quality design, would be incongruous and unbalanced additions, which would be detrimental to the preservation of the character and appearance of the existing application property, the wider Eastcote: Morford Way Conservation Area and the visual amenity of the street scene. As such it is considered that the proposal is contrary to Policies BE1 and HE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012), Policies BE4, BE13, BE15 and BE19 of the Hillingdon Local Plan: Part Two - UDP Saved Policies (November 2012) and the adopted Supplementary Planning Document HDAS: Residential Extensions (December 2008).

## INFORMATIVES

1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (2015) and national guidance.

AM14 New development and car parking standards.

BE13 New development must harmonise with the existing street scene.

BE15 Alterations and extensions to existing buildings

BE20 Daylight and sunlight considerations.

BE21 Siting, bulk and proximity of new buildings/extensions.

BE22 Residential extensions/buildings of two or more storeys.

BE23 Requires the provision of adequate amenity space.

BE24 Requires new development to ensure adequate levels of privacy to neighbours.

BE4 New development within or on the fringes of conservation areas

HDAS-E) Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008

LPP 3.5 (2015) Quality and design of housing developments

**Standard Informatives**

- 1 The decision to REFUSE planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).
- 2 The decision to REFUSE planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (July 2011) and national guidance.

Part 1 Policies:

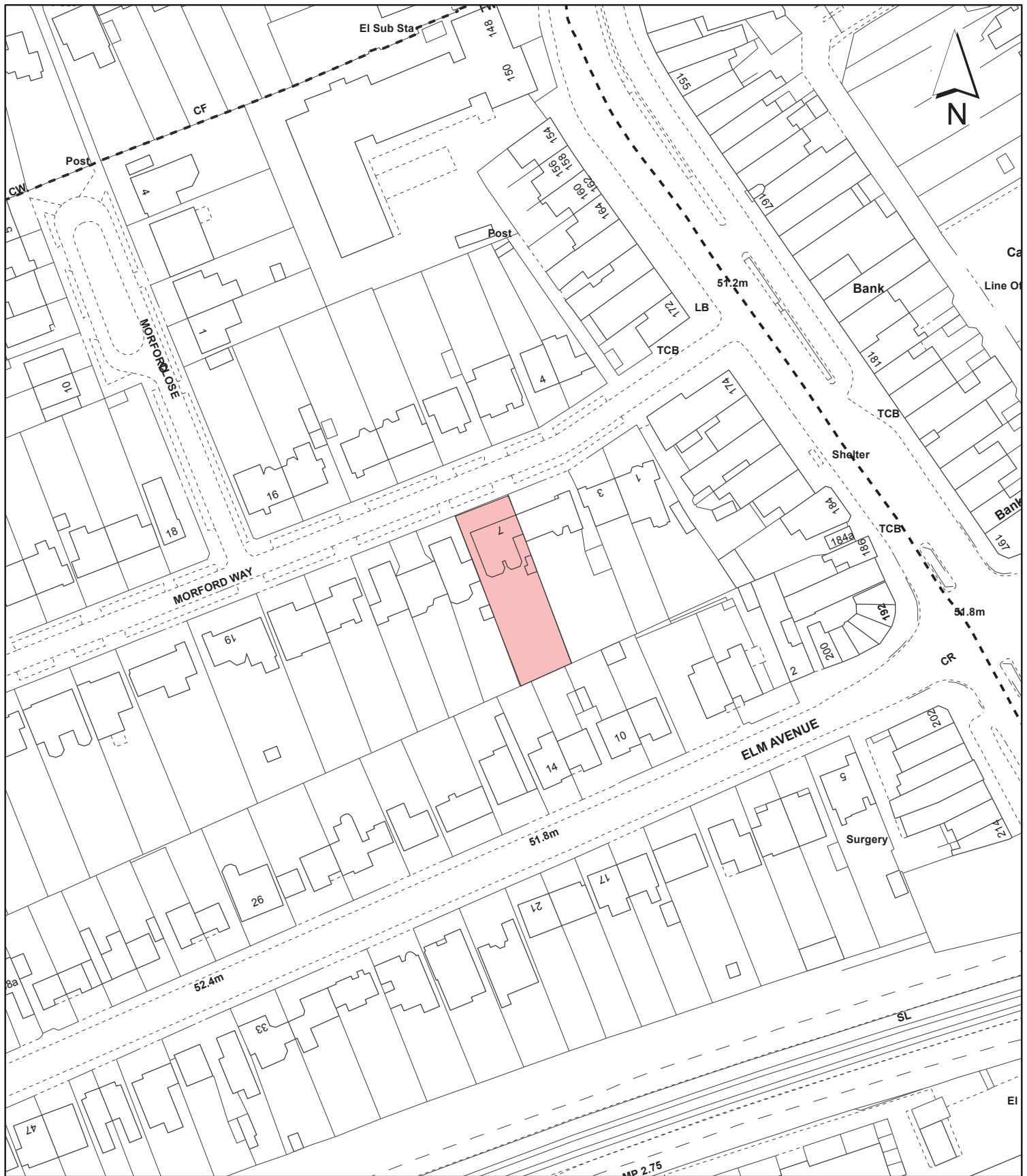
PT1.BE1	(2012) Built Environment
PT1.HE1	(2012) Heritage

Part 2 Policies:

AM14	New development and car parking standards.
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE4	New development within or on the fringes of conservation areas
HDAS-EXT	Residential Extensions, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted December 2008
LPP 3.5	(2015) Quality and design of housing developments

**Contact Officer:** Victor Unuigbo

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Site Address:

**7 Morford Way  
 Eastcote**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:  
**42971/APP/2015/1629**

Scale:  
**1:1,250**

Planning Committee:  
**North Page 50**

Date:  
**July 2015**



**HILLINGDON**  
 LONDON



## Report of the Head of Planning, Sport and Green Spaces

**Address** JOEL STREET FARM JOEL STREET NORTHWOOD

**Development:** Single storey side extension for use as an office

**LBH Ref Nos:** 8856/APP/2015/1333

**Drawing Nos:** JSF/003/7 Rev A  
JSF/003/6 Rev A  
JSF/003/3 Received 01.06.15  
AGL63678  
JSF/003/2  
JSF/003/4  
Design and Access Statemen

**Date Plans Received:** 13/04/2015

**Date(s) of Amendment(s):** 12/04/2015

**Date Application Valid:** 13/04/2015

03/07/2015

### 1. SUMMARY

This application seeks permission for the construction of a single storey side extension Class B1 use. A similar scheme was approved under application reference 8856/APP/2012/767.

The scheme is considered to be acceptable in terms of Green Belt policy and its openness. The proposals have been the subject of various discussion with officers which have resulted in revisions being made to the scheme which is now supported by the Council's Conservation/Urban Design Officer.

The scheme would not result in the loss of residential amenity to surrounding occupiers and the Council's Highway Engineer raises no objection to the parking and access arrangements and are therefore acceptable.

The scheme is recommended for approval.

### 2. RECOMMENDATION

None.

#### 1 COM3 Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

#### REASON

To comply with Section 91 of the Town and Country Planning Act 1990.

#### 2 COM4 Accordance with Approved Plans

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers JSF/003/3 (Proposed Ground Floor Plan Received 01.06.15, JSF/003/6 Rev A and JSF/003/7 Rev A and shall thereafter be retained/maintained for as long as the development remains in existence.

## REASON

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2015).

### **3 LB9 Samples of materials**

No development shall take place until details of all materials and external surfaces including samples of materials and finishes have been submitted to, and approved in writing by, the Local Planning Authority.

The submitted details shall include:

The detailed design and materials for the windows;  
Details of traditional brick arches over the window openings details;  
Details of conservation type roof lights; and  
Brickwork to match the existing.

Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

## REASON

To safeguard the special architectural and/or historic interest of the building/site in accordance with Policy BE8 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and to ensure that the development presents a satisfactory appearance in accordance with Policy BE13 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

## INFORMATIVES

### **1 I13 Asbestos Removal**

Demolition and removal of any material containing asbestos must be carried out in accordance with guidance from the Health and Safety Executive and the Council's Environmental Services. For advice and information contact: - Environmental Protection Unit, 3S/02, Civic Centre, High Street, Uxbridge, UB8 1UW (Tel. 01895 277401) or the Health and Safety Executive, Rose Court, 2 Southwark Bridge Road, London, SE1 9HS (Tel. 020 7556 2100).

### **2 I53 Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (2015) and national guidance.

AM14	New development and car parking standards.
AM15	Provision of reserved parking spaces for disabled persons
AM2	Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
AM7	Consideration of traffic generated by proposed developments.
AM9	Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
BE13	New development must harmonise with the existing street scene.
BE15	Alterations and extensions to existing buildings
BE20	Daylight and sunlight considerations.

BE21	Siting, bulk and proximity of new buildings/extensions.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
BE8	Planning applications for alteration or extension of listed buildings
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
LPP 3.1	(2015) Ensuring equal life chances for all
LPP 3.18	(2015) Education Facilities
LPP 5.12	(2015) Flood risk management
LPP 5.13	(2015) Sustainable drainage
LPP 5.2	(2015) Minimising Carbon Dioxide Emissions
LPP 5.3	(2015) Sustainable design and construction
LPP 5.7	(2015) Renewable energy
LPP 6.13	(2015) Parking
LPP 6.3	(2015) Assessing effects of development on transport capacity
LPP 6.5	(2015) Funding Crossrail and other strategically important transport infrastructure
LPP 6.9	(2015) Cycling
LPP 7.2	(2015) An inclusive environment
LPP 7.3	(2015) Designing out crime
LPP 7.4	(2015) Local character
LPP 7.6	(2015) Architecture
LPP 7.8	(2015) Heritage assets and archaeology
LPP 7.9	(2015) Heritage-led regeneration
NPPF1	NPPF - Delivering sustainable development
NPPF10	NPPF - Meeting challenge of climate change flooding coastal
NPPF12	NPPF - Conserving & enhancing the historic environment
NPPF7	NPPF - Requiring good design
NPPF9	NPPF - Protecting Green Belt land
OE1	Protection of the character and amenities of surrounding properties and the local area
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL2	Green Belt -landscaping improvements
OL4	Green Belt - replacement or extension of buildings
R16	Accessibility for elderly people, people with disabilities, women and children

### **3 I59 Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2015). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control

decisions.

### **3. CONSIDERATIONS**

#### **3.1 Site and Locality**

The 0.21ha rectangular application site comprises former Victorian farm buildings located on the eastern side of Joel Street, some 71m to the north of its junction with Middleton Drive.

The main range of former two storey farm buildings are 'L'-shaped, with the gable end of the main wing abutting the road frontage and its spine sited perpendicular to the road, before returning towards its southern boundary, which creates two separate farmyard areas with separate accesses onto Joel Street. A single storey wing set back from the frontage is sited on its northern elevation and a Dutch barn with a corrugated iron barrel vaulted roof has been added at the rear, running along the boundary with the adjacent former farmhouse, although the building is rather dilapidated now. A small detached modern flat roof stable building has also been added on the northern side of the main building, with a small paddock area immediately adjacent to the northern site boundary. The former farm buildings have been converted into a number of uses including a veterinary clinic, cattery and offices.

The application site is bounded to the north by open agricultural fields, to the east by open somewhat dilapidated barns, beyond which the open fields wrap around the site to the east and south/east, immediately to the south by the original farmhouse (No. 151 Joel Street) and more modern residential properties beyond and to the west on the opposite side of Joel Street by residential development fronting Joel Street behind which is Haydon School and its playing fields.

The farm buildings, together with the adjoining Joel Street Farmhouse are locally listed and with the adjacent open fields, form part of the Metropolitan Green Belt. The site has a PTAL score of 2 (poor).

#### **3.2 Proposed Scheme**

The proposal involves the infill of part of the existing building to form a single storey side extension to create additional office space for ancillary use. The proposed would incorporate rooflights.

The proposed infill section would be constructed from brick, with three evenly spaced windows at ground floor level. Three rooflights would be inserted into the roof to provide natural light to the mezzanine floor level. The roof would be re-clad with concrete interlocking tiles to match those currently in place.

A similar development proposal on the site was granted planning permission under planning application reference 8856/APP/2009/2349 which was not implemented. Although this current scheme has been the subject of any pre-application enquiry, however, the original plans submitted have since been amended following officer advice.

#### **3.3 Relevant Planning History**

8856/APP/2005/2266      Land Forming Part Of Joel Street Farm Joel Street Northwood Hills Pi  
USE OF LAND AS A CEMETERY INCLUDING FORMATION OF A NEW ACCESS TO JOEL

STREET, CAR PARKING AND ERECTION OF A PLACE OF WORSHIP WITH ANCILLARY FACILITIES INCLUDING A GROUNDSMAN'S FLAT

**Decision:** 16-11-2005 Refused

8856/APP/2005/3009 Joel Street Veterinary Clinic Joel Street Northwood  
INFILLING OF LEAN -TO BARN TO FORM ADDITIONAL OFFICE SPACE AND  
CONSTRUCTION OF REAR STORAGE UNIT

**Decision:** 25-05-2006 Withdrawn

8856/APP/2006/3097 Joel Street Farm Joel Street Northwood  
ERECTION OF PART-SINGLE PART TWO-STOREY EXTENSION TO EXISTING OFFICE  
SPACE BY INFILLING EXISTING BARN STRUCTURE AND INSERTING THREE ROOFLIGHT  
ON THE NORTH ELEVATION

**Decision:** 08-02-2007 Approved

8856/APP/2008/2721 Joel Street Farm Joel Street Northwood  
Erection of a single storey rear extension with 2 rooflights.

**Decision:** 07-04-2009 Refused **Appeal:** 23-02-2010 Allowed

8856/APP/2009/2349 Joel Street Farm Joel Street Northwood  
Infill extension to create additional Class B1 office space with mezzanine level and 3 rooflights  
(renewal of Planning permission ref: 8856/APP/2006/3097).

**Decision:** 09-02-2010 Approved

8856/APP/2012/767 Joel Street Farm Joel Street Northwood  
Change of use of stables to cattery (Sui Generis) involving the removal of existing roof, raising c  
existing walls and installation of new roof, two storey rear extension to rear of existing building to  
be used as Use Class D1 (Non-Residential Institutions) for use as a nursery involving demolitior  
of existing barn and part change of use from cattery (Sui Generis), single storey side extension  
to existing building involving part demolition of cattle yard and covered area, alterations to  
parking, and installation of vehicular crossover to front

**Decision:** 08-08-2012 Refused

#### **Comment on Relevant Planning History**

There have been various applications submitted in relation to site. The most relevant history  
relates to planning permission granted under planning application reference  
8856/APP/2009/2349.

#### 4. Planning Policies and Standards

##### UDP / LDF Designation and London Plan

The following UDP Policies are considered relevant to the application:-

###### Part 1 Policies:

- PT1.1 To maintain the Green Belt for uses which preserve or enhance the open nature of the area. Replaced by PT1.EM2 (2012)
- PT1.10 To seek to ensure that development does not adversely affect the amenity and the character of the area. Replaced by PT1.BE1 (2012)
- PT1.12 To avoid any unacceptable risk of flooding to new development in areas already liable to flood, or increased severity of flooding elsewhere. Replaced by PT1.EM6 (2012)
- PT1.2 To maintain Metropolitan Open Land for formal and informal open air recreation facilities including nature conservation. Rplaced by PT1.EM2 (2012)
- PT1.7 To promote the conservation, protection and enhancement of the archaeological heritage of the Borough. Replaced by PT1.HE1 (2012)

###### Part 2 Policies:

- AM14 New development and car parking standards.
- AM15 Provision of reserved parking spaces for disabled persons
- AM2 Development proposals - assessment of traffic generation, impact on congestion and public transport availability and capacity
- AM7 Consideration of traffic generated by proposed developments.
- AM9 Provision of cycle routes, consideration of cyclists' needs in design of highway improvement schemes, provision of cycle parking facilities
- BE13 New development must harmonise with the existing street scene.
- BE15 Alterations and extensions to existing buildings
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- BE8 Planning applications for alteration or extension of listed buildings
- LDF-AH Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
- LPP 3.1 (2015) Ensuring equal life chances for all
- LPP 3.18 (2015) Education Facilities
- LPP 5.12 (2015) Flood risk management
- LPP 5.13 (2015) Sustainable drainage
- LPP 5.2 (2015) Minimising Carbon Dioxide Emissions

LPP 5.3	(2015) Sustainable design and construction
LPP 5.7	(2015) Renewable energy
LPP 6.13	(2015) Parking
LPP 6.3	(2015) Assessing effects of development on transport capacity
LPP 6.5	(2015) Funding Crossrail and other strategically important transport infrastructure
LPP 6.9	(2015) Cycling
LPP 7.2	(2015) An inclusive environment
LPP 7.3	(2015) Designing out crime
LPP 7.4	(2015) Local character
LPP 7.6	(2015) Architecture
LPP 7.8	(2015) Heritage assets and archaeology
LPP 7.9	(2015) Heritage-led regeneration
NPPF1	NPPF - Delivering sustainable development
NPPF10	NPPF - Meeting challenge of climate change flooding coastal
NPPF12	NPPF - Conserving & enhancing the historic environment
NPPF7	NPPF - Requiring good design
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OL2	Green Belt -landscaping improvements
OL4	Green Belt - replacement or extension of buildings
R16	Accessibility for elderly people, people with disabilities, women and children

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- Not applicable

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

7 neighbouring properties and the Northwood Hills Residents Association have been consulted on this application, a site notice has been displayed on site which expired on 15/05/15. No responses have been received.

### **Internal Consultees**

URBAN DESIGN/CONSERVATION OFFICER:

The site includes a range of good quality Victorian Locally Listed farm buildings, with an "L" shaped footprint. They are positioned adjacent to the original farm house and include an enclosed cattle yard and a number of early boundary walls. Together these form a very attractive group. The buildings are

clearly visible in views from the surrounding open Green Belt area and from Joel Street.

The building subject of this application is a Locally Listed former barn. Approval has been given previously for a similar infill addition.

I confirm there are no objections to the revised drawings. Could we add conditions re the detailed design and materials for the windows; that there should be traditional brick arches over the window openings details of which should be provided and that the roof lights should be of a conservation type. Brickwork to match the existing, sample to be provided- as its not clear of they are painting it or not.

HIGHWAY ENGINEER:

There are no highways objections to the proposal.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The National Planning Policy Framework (NPPF) at paragraph 2 states that "Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise".

As regards Green Belts, the NPPF at paragraph 79 advises that they are of great importance and their fundamental aim is to "prevent urban sprawl by keeping land permanently open". Paragraph 87 advises that inappropriate development is harmful to the Green Belt and should not be approved except in very special circumstances. Paragraph 88 advises that "'very special circumstances' will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm, is clearly outweighed by other considerations."

At paragraph 89, the NPPF goes on to define inappropriate development, advising that the construction of new buildings should be regarded as inappropriate, and then lists the various exceptions to this which include the "replacement of a building, provided the new building is in the same use and not materially larger than the one it replaces".

At paragraph 90, the NPPF indicates that certain other forms of development are also not inappropriate in Green Belt provided they preserve the openness of the Green Belt and do not conflict with the purposes of including land in the Green Belt. These include among others 'the re-use of buildings provided that the buildings are of permanent and substantial construction'.

London Plan policy 7.16 (July 2011) reaffirms that the "strongest protection" should be given to London's Green Belt, in accordance with national guidance, and emphasises that inappropriate development should be refused, except in very special circumstances.

Policies in the adopted Hillingdon Local Plan (November 2012) generally reflect national and regional guidance, in particular, policies OL1 and OL4 which assess new buildings in the Green Belt. Policy OL2 states that, where development proposals are acceptable within the Green Belt, in accordance with Policy OL1, the Local Planning Authority will seek comprehensive landscaping improvements to enhance the visual amenity of the Green Belt

This scheme proposes an infill extension without an increase in the footprint of the existing building. The principle of extending the existing locally listed building is acceptable provided the character and appearance of the locally listed building and the openness of the Green



Belt is maintained.

On the previous application (App. No. 8856/APP/2009/2349), it was held that the proposed infill would not be harmful to the openness of the Green Belt or be prejudicial to the site's Green Belt status. Although the relevant Planning Policy Guidance have since been replaced by the NPPF(2012) the aims remain the same and as such the principle of extension on the site with the similar design and scale is acceptable.

It is therefore considered that this revised scheme would be acceptable in terms of the NPPF, Policy 7.16 of the London Plan and Policies OL1, OL2 and OL4 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

#### **7.02 Density of the proposed development**

Not applicable to non-residential development.

#### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The proposals would not be likely to affect any archaeological remains and the application site is not located within or on the fringes of a conservation area or an area of special local character.

The application site comprises a range of good quality Victorian farm buildings, together with the adjoining original Joel Street Farmhouse which are locally listed. The site also contains a number of early boundary walls and together the buildings and walls form a very attractive group.

The existing Dutch barn is in a dilapidated condition and is mainly constructed from corrugated iron sheets, including its roof. The stable building is also a more modern addition and has a flat corrugated asbestos roof. These buildings have little architectural or historical merit and no objections are raised to their loss.

The revised scheme is considered to be acceptable in terms of the NPPF, and Policies BE8 and 9 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

#### **7.04 Airport safeguarding**

There are no airport safeguarding issues raised by this application.

#### **7.05 Impact on the green belt**

The impact upon the Green Belt has been considered in Section 07.05.

#### **7.07 Impact on the character & appearance of the area**

The proposed single storey infill building would be screened from public views on Joel Street by the existing two storey former farm buildings on site currently in B2 use. The proposed has been design to take into account conservation and urban design officer comments and as such, the scheme would have no adverse impacts on the character and appearance of the area and would result in the tidying and enhancement of the site's appearance.

#### **7.08 Impact on neighbours**

Policies BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) seek to protect the amenities of surrounding residential properties from new development in relation to loss of sunlight, dominance and loss of privacy respectively.

The nearest residential property to the proposals is the former Joel Street Farmhouse immediately to the south of the site. The proposed single storey infill would be sited adjacent to the side a cattle yard and paddocks. As the building would infill an existing structure of similar height and bulk, there would be no additional impacts upon the amenities of this

property. The proposed building also does not contain any side windows in the flank elevation and would be located several metres away from the nearest residential properties on Joel Street and as such no overlooking could not occur.

It is therefore considered that the scheme would not result in any significant adverse impact upon the amenities of existing and surrounding residential occupiers, in accordance with Policies BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

**7.09 Living conditions for future occupiers**

Not applicable to this commercial development.

**7.10 Traffic impact, car/cycle parking, pedestrian safety**

Parking at the site lies at the front and rear of the building. It is currently informal but provides sufficient off-street parking to cater for the additional floorspace.

The Highway Engineer raises no objections to the scheme. Therefore, no objections are raised on highway grounds and complies with Policies AM7, AM9 and AM14 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).

**7.11 Urban design, access and security**

This is discussed elsewhere in the officers report.

**7.12 Disabled access**

Policy 7.2 of the London Plan (July 2011) requires all new development to provide an inclusive environment that achieves the highest standards of accessibility and inclusive design. The Council's Supplementary Planning Document "Accessible Hillingdon" (May 2013) provides detailed design guidance on accessibility issues.

The Council's Access Officer has raised no objection.

Therefore scheme complies with Policy 7.2 of the London Plan and the Council's Supplementary Planning Document "Accessible Hillingdon" (May 2013).

**7.13 Provision of affordable & special needs housing**

Not applicable to this application for commercial development.

**7.14 Trees, Landscaping and Ecology**

Saved policy BE38 of the Hillingdon Local Plan advises that new development should retain topographical and landscape features of merit and that new planting and landscaping should be provided wherever it is appropriate.

There is no tree in close proximity to the site. The Council's Tree/Landscaping Officer has raised no objection.

As such, it is considered that the proposal would comply with Policy BE38.

**7.15 Sustainable waste management**

This is not applicable to this application.

**7.16 Renewable energy / Sustainability**

This is not applicable to this application.

**7.17 Flooding or Drainage Issues**

This is not applicable to this application.

**7.18 Noise or Air Quality Issues**

The application site is not located within an Air Quality Management Area. Traffic generated

by the proposal would not have a material adverse impact on air quality.

#### **7.19 Comments on Public Consultations**

There is no third party comments.

#### **7.20 Planning Obligations**

This is not applicable to this application.

#### **7.21 Expediency of enforcement action**

There are no enforcement issues raised by this application.

#### **7.22 Other Issues**

There are no other planning issues raised by this application.

### **8. Observations of the Borough Solicitor**

#### General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

#### Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

#### Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

#### Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected

characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

## **9. Observations of the Director of Finance**

## **10. CONCLUSION**

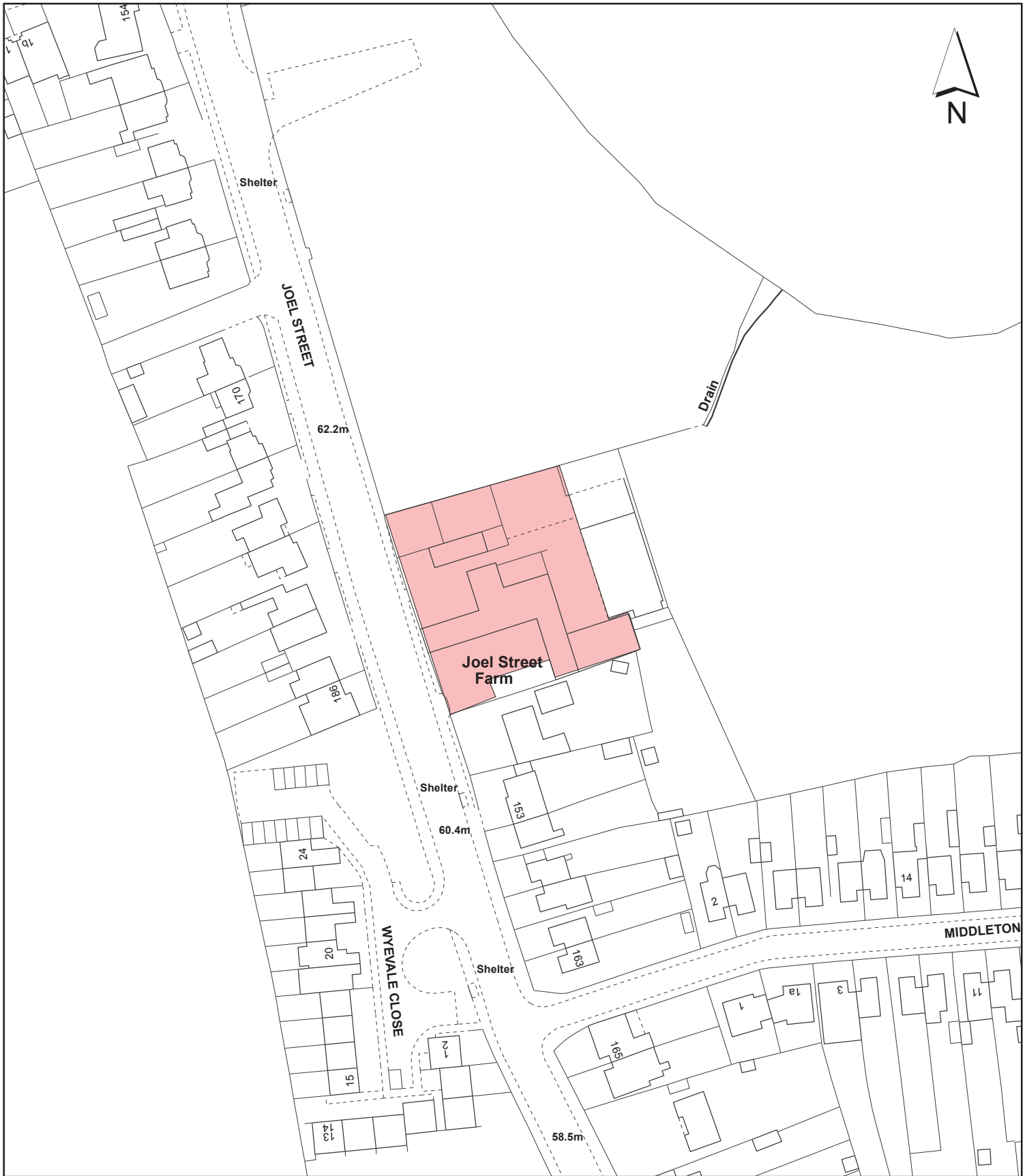
This scheme is similar to the previously approved development. It is considered that the revisions made are acceptable and the scheme is recommended for approval.

## **11. Reference Documents**

NPPF (March 2012)  
Planning Practice Guidance (March 2014)  
The London Plan (2015)  
Hillingdon Local Plan (November 2012)  
Consultation Responses

**Contact Officer:** Peter Korankye-Gyabong

**Telephone No:** 01895 250230



**Notes:**

 Site boundary

For identification purposes only.  
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Site Address:

**Joel Street Farm  
 Joel Street  
 Northwood**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:  
**8856/APP/2015/1333**

Scale:  
**1:1,250**

Planning Committee:  
**North Page 63**

Date:  
**July 2015**



**HILLINGDON**  
 LONDON

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## Report of the Head of Planning, Sport and Green Spaces

**Address** 61 & 61A HIGH ROAD ICKENHAM

**Development:** 3 x two storey, 3-bed and 3 x two storey, 4-bed terraced dwellings with habitable roofspace with bin store and associated parking, landscaping and amenity space involving demolition of existing office and residential buildings.

**LBH Ref Nos:** 51656/APP/2014/4334

**Drawing Nos:** 13-023-E01  
Tree Report  
Design and Access Statemen  
Ecology Report  
Access and Servicing Statemen  
P-3.1  
R508TCP  
R508TPP  
13-023-E02  
13-023-P01 Rev C  
13-023-P02 Rev C  
13-023-P03 Rev C  
13-023-P04 Rev C  
13-023-P05 Rev C  
13-023-P06 Rev C  
13-023-P07 Rev C  
13-023-P08 Rev C  
13-023-P09 Rev C

**Date Plans Received:** 09/12/2014

**Date(s) of Amendment(s):** 09/12/2014

**Date Application Valid:** 21/01/2015

17/12/2014

### 1. SUMMARY

The application seeks planning permission for the erection of 3 x two storey, 3-bed and 3 x two storey, 4-bed terraced dwellings with habitable roofspace, with bin store and associated parking, landscaping and amenity space, involving demolition of the existing office and residential buildings.

The proposed scheme is considered to be of an acceptable design which would be compatible within the local context and result in an adequate standard of amenity for future occupiers. The proposal would not detrimentally impact on the residential amenity of neighbouring occupiers and would provide an acceptable area of amenity space for the benefit of future occupiers.

No objections are raised to the loss of the locally listed 'Old Chapel' building and the proposed scheme would not result in an unacceptable impact on the visual amenities of the wider area in general. It is not considered that the development would lead to such a significant increase in traffic that refusal could be justified on highway grounds.

Accordingly, the application is recommended for approval.

## **2. RECOMMENDATION**

a) That the Council enters into an agreement with the applicant under Section 106 of the Town and Country Planning Act 1990 (as amended) and/or Section 278 of the Highways Act 1980 (as amended) and/ or other appropriate legislation to secure:

1. Highways and Park Access works scheme (to secure appropriate measures relating to safe access to the open space during construction (for both pedestrians and maintenance vehicles) and to ensure that the final specification and detailing of this area is appropriate (including hard/soft landscaping, lighting, fencing, gates and if appropriate other security measures such as CCTV)

2. Maintenance of Highways and Park Access works (to address liabilities for long term maintenance)

B) That in respect of the application for planning permission, the applicant meets the Council's reasonable costs in preparation of the Section 106 and 278 Agreements and any abortive work as a result of the agreement not being completed.

C) That officers be authorised to negotiate and agree the detailed terms of the proposed agreement and conditions of approval.

D) If the Legal Agreement/s have not been finalised within 3 months, delegated authority be given to the Head of Planning and Enforcement to refuse planning permission for the following reason:

'The applicant has failed to deliver a necessary scheme to ensure appropriate and continued access to Ickenham Green, the neighbouring public open space, both during and post construction. Accordingly, it is considered the proposal would prejudice the accessibility, use and maintenance of this public open space contrary to the intentions of policy R4 of the Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012), EM4 of the Hillingdon Local Plan: Part One Strategic Policies (November 2012), Policy 7.18 of the London Plan (March 2015) and Section 8 of the National Planning policy Framework.'

E) That subject to the above, the application be deferred for determination by the Head of Planning and Enforcement under delegated powers, subject to the completion of the legal agreement under Section 106 of the Town and Country Planning Act 1990 and other appropriate powers with the applicant.

F) That if the application is approved, the following conditions be imposed subject to any changes negotiated by the Head of Planning and Enforcement prior to issuing the decision:

1            COM3            Time Limit

The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

REASON

To comply with Section 91 of the Town and Country Planning Act 1990.



**2 COM4 Accordance with Approved Plans**

The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers numbers 13-023-P02 Rev C, 13-023-P04 Rev C, 13-023-P09 Rev C, 13-023-P01 Rev C, 13-023-P05 rev C, 13-023-P07 Rev C, R509TPP, P-3.1, and shall thereafter be retained/maintained for as long as the development remains in existence.

**REASON**

To ensure the development complies with the provisions Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and the London Plan (2015).

**3 COM7 Materials (Submission)**

No development shall take place until details of all materials and external surfaces, including details of balconies have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be constructed in accordance with the approved details and be retained as such.

Details should include information relating to make, product/type, colour and photographs/images.

**REASON**

To ensure that the development presents a satisfactory appearance in accordance with Policy BE13 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012).

**4 COM31 Secured by Design**

The building(s) shall achieve 'Secured by Design' accreditation awarded by the Hillingdon Metropolitan Police Crime Prevention Design Adviser (CPDA) on behalf of the Association of Chief Police Officers (ACPO). No building shall be occupied until accreditation has been achieved.

**REASON**

In pursuance of the Council's duty under section 17 of the Crime and Disorder Act 1998 to consider crime and disorder implications in excising its planning functions; to promote the well being of the area in pursuance of the Council's powers under section 2 of the Local Government Act 2000, to reflect the guidance contained in the Council's SPG on Community Safety By Design and to ensure the development provides a safe and secure environment in accordance with London Plan (2015) Policies 7.1 and 7.3.

**5 COM15 Sustainable Water Management**

Prior to commencement, a scheme for the provision of sustainable water management shall be submitted to, and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate how it:

- a) Manages Surface Water. The scheme shall demonstrate ways of controlling the surface water on site.
  - i. incorporates sustainable urban drainage in accordance with the hierarchy set out in Policy 5.15 of the London Plan. Where the proposal does not utilise the most sustainable solution, justification must be provided.
  - ii. provide information on all Suds features including the method employed to delay and control the water discharged from the site to Greenfield run off rates and:
    - a. calculations showing storm period and intensity and volume of storage required to control surface water and size of features to control that volume.

- b. any overland flooding should be shown, with flow paths depths and velocities identified as well as any hazards, ( safe access and egress must be demonstrated).
- iii. Demonstrates capacity and structural soundness in the receptors of Thames Water network and receiving watercourse as appropriate.
- iv. During Construction
  - a. measures taken to prevent pollution of the receiving groundwater and/or surface waters;
  - b. how they or temporary measures will be implemented to ensure no increase in flood risk from commencement of construction.
- b) Foul water
  - i. The Scheme shall demonstrate capacity in the receiving foul sewer network or provides suitable upgrades agreed by Thames Water.
- c) Ground water
  - i. Where infiltration techniques (soakway) or a basement are proposed a site investigation must be provided to establish the risk of groundwater flooding on the site, and to demonstrate the suitability of infiltration techniques proposed on the site. (This should be undertaken at the appropriate time of year as groundwater levels fluctuate).
- d) Minimise water use. The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:
  - i. incorporate water saving measures and equipment.
  - ii. provide details of water collection facilities to capture excess rainwater;
  - iii. provide details of how rain and grey water will be recycled and reused in the development.
- e) Long Term Management and Maintenance of the drainage system.
  - i. Provide a management and maintenance plan for the lifetime of the development of arrangements to secure the operation of the scheme throughout its lifetime. Including appropriate details of Inspection regimes, appropriate performance specification, remediation and timescales for the resolving of issues. Where there is overland flooding proposed, the plan should include the appropriate actions to ensure the safety of the users of the site should that be required.
  - ii. Where the maintenance will not be the responsibility of an individual householder, the details of the body legally responsible for the implementation of the management and maintenance plan must be provided.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

#### REASON

To ensure that surface water run off is controlled to ensure the development does not increase the risk of flooding contrary to Policy EM6 Flood Risk Management in Hillingdon Local Plan: Part 1- Strategic Policies (Nov 2012) Policy 5.12 Flood Risk Management of the London Plan (July 2011) and National Planning Policy Framework (March 2012) and the Planning Practice Guidance (March 2014). To be handled as close to its source as possible in compliance with Policy 5.13 Sustainable Drainage of the London Plan (July 2011 or Jan 2014), and conserve water supplies in accordance with Policy 5.15 Water use and supplies of the London Plan (July 2011).

#### **6 DIS5 Design to Lifetime Homes Standards & Wheelchair Standards**

All residential units within the development hereby approved shall be built in accordance with 'Lifetime Homes' Standards. Further 10% of the units hereby approved shall be designed to be fully wheelchair accessible, or easily adaptable for residents who are

wheelchair users, as set out in the Council's Supplementary Planning Document 'Accessible Hillingdon'.

#### REASON

To ensure that sufficient housing stock is provided to meet the needs of disabled and elderly people in accordance with London Plan (2015) Policies 3.1, 3.8 and 7.2.

#### **7 RES6 Levels**

No development shall take place until plans of the site showing the existing and proposed ground levels and the proposed finished floor levels of all proposed buildings have been submitted to and approved in writing by the Local Planning Authority. Such levels shall be shown in relation to a fixed and known datum point. Thereafter the development shall not be carried out other than in accordance with the approved details.

#### REASON

To ensure that the development relates satisfactorily to adjoining properties in accordance with policy BE13 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

#### **8 RES8 Tree Protection**

No site clearance or construction work shall take place until the details have been submitted to, and approved in writing by, the Local Planning Authority with respect to:

1. A method statement outlining the sequence of development on the site including demolition, building works and tree protection measures.
2. Detailed drawings showing the position and type of fencing to protect the entire root areas/crown spread of trees, hedges and other vegetation to be retained shall be submitted to the Local Planning Authority for approval. No site clearance works or development shall be commenced until these drawings have been approved and the fencing has been erected in accordance with the details approved. Unless otherwise agreed in writing by the Local Planning Authority such fencing should be a minimum height of 1.5 metres.

Thereafter, the development shall be implemented in accordance with the approved details. The fencing shall be retained in position until development is completed.

The area within the approved protective fencing shall remain undisturbed during the course of the works and in particular in these areas:

- 2.a There shall be no changes in ground levels;
- 2.b No materials or plant shall be stored;
- 2.c No buildings or temporary buildings shall be erected or stationed.
- 2.d No materials or waste shall be burnt; and
- 2.e No drain runs or other trenches shall be dug or otherwise created, without the prior written consent of the Local Planning Authority.

#### REASON

To ensure that trees and other vegetation can and will be retained on site and not damaged during construction work and to ensure that the development conforms with policy BE38 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

#### **9 RES9 Landscaping (car parking & refuse/cycle storage)**

No development shall take place until a landscape scheme has been submitted to and

approved in writing by the Local Planning Authority. The scheme shall include: -

1. Details of Soft Landscaping
  - 1.a Planting plans (at not less than a scale of 1:100),
  - 1.b Written specification of planting and cultivation works to be undertaken,
  - 1.c Schedule of plants giving species, plant sizes, and proposed numbers/densities where appropriate
  
2. Details of Hard Landscaping
  - 2.a Refuse Storage
  - 2.b Cycle Storage
  - 2.c Means of enclosure/boundary treatments
  - 2.d Car Parking Layouts (including demonstration that 25% of all parking spaces are served by electrical charging points)
  - 2.e Hard Surfacing Materials
  
3. Details of Landscape Maintenance
  - 3.a Landscape Maintenance Schedule for a minimum period of 5 years.
  - 3.b Proposals for the replacement of any tree, shrub, or area of surfing/seeding within the landscaping scheme which dies or in the opinion of the Local Planning Authority becomes seriously damaged or diseased.
  
4. Schedule for Implementation
  
5. Other
  - 5.a Existing and proposed functional services above and below ground
  - 5.b Proposed finishing levels or contours

Thereafter the development shall be carried out and maintained in full accordance with the approved details.

#### REASON

To ensure that the proposed development will preserve and enhance the visual amenities of the locality and provide adequate facilities in compliance with policies BE13, BE38 and AM14 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012) and Policies 5.11 (living walls and roofs) and 5.17 (refuse storage) of the London Plan (2015).

#### **10 RES14 Outbuildings, extensions and roof alterations**

Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 1995 (or any order revoking and re-enacting that Order with or without modification); no garage(s), shed(s) or other outbuilding(s), nor extension or roof alteration to any dwellinghouse(s) shall be erected without the grant of further specific permission from the Local Planning Authority.

#### REASON

To protect the character and appearance of the area and amenity of residential occupiers in accordance with policies BE13, BE21, BE23 and BE24 Hillingdon Local Plan: Part Two Saved UDP Policies (November 2012)

#### **INFORMATIVES**

**1**            I52                    **Compulsory Informative (1)**

The decision to GRANT planning permission has been taken having regard to all relevant planning legislation, regulations, guidance, circulars and Council policies, including The Human Rights Act (1998) (HRA 1998) which makes it unlawful for the Council to act incompatibly with Convention rights, specifically Article 6 (right to a fair hearing); Article 8 (right to respect for private and family life); Article 1 of the First Protocol (protection of property) and Article 14 (prohibition of discrimination).

**2**            I53                    **Compulsory Informative (2)**

The decision to GRANT planning permission has been taken having regard to the policies and proposals in the Hillingdon Unitary Development Plan Saved Policies (September 2007) as incorporated into the Hillingdon Local Plan (2012) set out below, including Supplementary Planning Guidance, and to all relevant material considerations, including the London Plan (2015) and national guidance.

AM7	Consideration of traffic generated by proposed developments.
AM14	New development and car parking standards.
BE1	Development within archaeological priority areas
BE13	New development must harmonise with the existing street scene.
BE18	Design considerations - pedestrian security and safety
BE19	New development must improve or complement the character of the area.
BE20	Daylight and sunlight considerations.
BE21	Siting, bulk and proximity of new buildings/extensions.
BE22	Residential extensions/buildings of two or more storeys.
BE23	Requires the provision of adequate amenity space.
BE24	Requires new development to ensure adequate levels of privacy to neighbours.
BE38	Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
EM6	(2012) Flood Risk Management
HDAS-LAY	Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
LDF-AH	Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
NPPF1	NPPF - Delivering sustainable development
NPPF10	NPPF - Meeting challenge of climate change flooding coastal
NPPF11	NPPF - Conserving & enhancing the natural environment
NPPF7	NPPF - Requiring good design
OE1	Protection of the character and amenities of surrounding properties and the local area
OE3	Buildings or uses likely to cause noise annoyance - mitigation measures
OE8	Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
OL1	Green Belt - acceptable open land uses and restrictions on new development
OL4	Green Belt - replacement or extension of buildings
LPP 3.4	(2015) Optimising housing potential

LPP 3.5	(2015) Quality and design of housing developments
LPP 3.8	(2015) Housing Choice
LPP 5.12	(2015) Flood risk management
LPP 5.13	(2015) Sustainable drainage
LPP 5.2	(2015) Minimising Carbon Dioxide Emissions
LPP 5.3	(2015) Sustainable design and construction
LPP 6.13	(2015) Parking
LPP 6.3	(2015) Assessing effects of development on transport capacity
LPP 7.1	(2015) Lifetime Neighbourhoods
LPP 7.14	(2015) Improving air quality
LPP 7.2	(2015) An inclusive environment
LPP 7.3	(2015) Designing out crime
LPP 7.4	(2015) Local character
LPP 7.6	(2015) Architecture

### **3 159 Councils Local Plan : Part 1 - Strategic Policies**

On this decision notice policies from the Councils Local Plan: Part 1 - Strategic Policies appear first, then relevant saved policies (referred to as policies from the Hillingdon Unitary Development Plan - Saved Policies September 2007), then London Plan Policies (2015). On the 8th November 2012 Hillingdon's Full Council agreed the adoption of the Councils Local Plan: Part 1 - Strategic Policies. Appendix 5 of this explains which saved policies from the old Unitary Development (which was subject to a direction from Secretary of State in September 2007 agreeing that the policies were 'saved') still apply for development control decisions.

## **3. CONSIDERATIONS**

### **3.1 Site and Locality**

The application relates to two detached buildings, part of which is locally listed, located on the south western side of High Road Ickenham. The external walls of the properties are covered by a traditional gable and hipped roofs.

The site is broadly a trapezium in shape and is bordered by the Ickenham High Road to the southeast. The adjoining property to the west of the site is the Soldiers Return public house, whilst the nearest residential properties are situated on Oak Avenue, approximately 45 metres southwest of the site. The site also backs onto the designated Metropolitan Green Belt.

The site which has been used as part office and part plant hire and has an area of approximately 0.14ha and is located within the developed area as identified in the Hillingdon Local Plan (November 2012).

### **3.2 Proposed Scheme**

This application seeks consent for the construction of 3 x two storey, 3-bed and 3 x two storey, 4-bed terraced dwellings with habitable roofspace, bin store and associated parking, landscaping and amenity space involving demolition of existing office and residential buildings. The buildings would have traditional pitched roof.

### **3.3 Relevant Planning History**

51656/APP/2014/192 61a High Road Ickenham  
Demolition of former chapel (Application for Prior Notification of Demolition)

**Decision:** 18-02-2014 Refused

51656/APP/2014/622 61a High Road Ickenham  
Demolition of former chapel (Application for Prior Notification of Demolition)

**Decision:** 27-03-2014 PRN

51656/PRC/2014/106 61 & 61a High Road Ickenham  
Redevelopment of the Brownfield site for residential use

**Decision:** 20-10-2014 OBJ

51656/PRC/2014/28 61 & 61a High Road Ickenham  
Redevelopment of the Brownfield site for residential use

**Decision:** 17-07-2014 OBJ

#### **Comment on Relevant Planning History**

Planning application reference 51656/APP/2014/622 for demolition of former chapel (Application for Prior Notification of Demolition) was deemed 'Prior Approval not required'.

Planning application reference 51656/APP/2014/192 for the proposed demolition of No.61a High Road does not constitute permitted development by virtue of the provisions of Schedule 2, Part 31, Class A of the Town and Country Planning (General Permitted Development) Order 1995 (as amended) as the applicant has failed to demonstrate that a site notice has been displayed on or near the land on which the building to be demolished is sited, for a period of not less than 21 days in the period of 28 days beginning with the date on which the application was submitted to the Local Planning Authority.

#### **4. Planning Policies and Standards**

##### **UDP / LDF Designation and London Plan**

The following UDP Policies are considered relevant to the application:-

Part 1 Policies:

- PT1.BE1 (2012) Built Environment
- PT1.CI1 (2012) Community Infrastructure Provision
- PT1.EM1 (2012) Climate Change Adaptation and Mitigation
- PT1.EM11 (2012) Sustainable Waste Management
- PT1.EM2 (2012) Green Belt, Metropolitan Open Land and Green Chains

- PT1.EM3 (2012) Blue Ribbon Network
- PT1.EM8 (2012) Land, Water, Air and Noise

Part 2 Policies:

- AM7 Consideration of traffic generated by proposed developments.
- AM14 New development and car parking standards.
- BE1 Development within archaeological priority areas
- BE13 New development must harmonise with the existing street scene.
- BE18 Design considerations - pedestrian security and safety
- BE19 New development must improve or complement the character of the area.
- BE20 Daylight and sunlight considerations.
- BE21 Siting, bulk and proximity of new buildings/extensions.
- BE22 Residential extensions/buildings of two or more storeys.
- BE23 Requires the provision of adequate amenity space.
- BE24 Requires new development to ensure adequate levels of privacy to neighbours.
- BE38 Retention of topographical and landscape features and provision of new planting and landscaping in development proposals.
- EM6 (2012) Flood Risk Management
- HDAS-LAY Residential Layouts, Hillingdon Design & Access Statement, Supplementary Planning Document, adopted July 2006
- LDF-AH Accessible Hillingdon , Local Development Framework, Supplementary Planning Document, adopted January 2010
- NPPF1 NPPF - Delivering sustainable development
- NPPF10 NPPF - Meeting challenge of climate change flooding coastal
- NPPF11 NPPF - Conserving & enhancing the natural environment
- NPPF7 NPPF - Requiring good design
- OE1 Protection of the character and amenities of surrounding properties and the local area
- OE3 Buildings or uses likely to cause noise annoyance - mitigation measures
- OE8 Development likely to result in increased flood risk due to additional surface water run-off - requirement for attenuation measures
- OL1 Green Belt - acceptable open land uses and restrictions on new development
- OL4 Green Belt - replacement or extension of buildings
- LPP 3.4 (2015) Optimising housing potential
- LPP 3.5 (2015) Quality and design of housing developments
- LPP 3.8 (2015) Housing Choice



LPP 5.12	(2015) Flood risk management
LPP 5.13	(2015) Sustainable drainage
LPP 5.2	(2015) Minimising Carbon Dioxide Emissions
LPP 5.3	(2015) Sustainable design and construction
LPP 6.13	(2015) Parking
LPP 6.3	(2015) Assessing effects of development on transport capacity
LPP 7.1	(2015) Lifetime Neighbourhoods
LPP 7.14	(2015) Improving air quality
LPP 7.2	(2015) An inclusive environment
LPP 7.3	(2015) Designing out crime
LPP 7.4	(2015) Local character
LPP 7.6	(2015) Architecture

## **5. Advertisement and Site Notice**

**5.1** Advertisement Expiry Date:- Not applicable

**5.2** Site Notice Expiry Date:- Not applicable

## **6. Consultations**

### **External Consultees**

19 neighbouring owners/occupiers were consulted on this application on 19th December 2014 and reconsulted on 7th May 2015. Four responses (2 from the same neighbour) had been received by the time of writing this report, raising objection in relation to the following:

1. I live at 4 Oak Avenue which is on the south-eastern side of Oak Avenue and backs onto the proposed development site. Properties along the south-eastern side of Oak Avenue currently benefit from privacy as there is no over-looking into the rear gardens/houses from the south-east. The proposed plan incorporates roof terraces at the rear of the development which will create new overlooking into my rear garden/house and will have an adverse impact on my residential amenity and privacy. If the plan was revised and the roof terraces were to be replaced with standard windows (not juliet balconies) then I would not have an objection to the revised planning application.

2. I live at 4A Oak Avenue, which backs onto the proposed development site. I do not have a problem with the proposed development, apart from the roof terraces at the rear of the development which will overlook my rear garden/house. This obviously will affect the current privacy my family benefits from. If the plan was amended to standard windows, as opposed to balconies with ample trees blocking this view, then we would not have any objection.

3. The loss of the old chapel 61a and the shop building 61 along with the old outbuildings that stretch behind would be a great loss of "old Ickenham's" heritage. These old buildings need to be preserved to show the next generation where Ickenham has evolved from. 2, The access road to Ickenham Green has been included into the "site plan" I always understood that this land was under the ownership of LBH?

Ickenham Residents Association:

This above proposal is an entirely new scheme creating two separate blocks with habitable space in the roof, effectively building two 3-storey dwellings with a flat roof, and we are surprised that this is carried forward as 'amendment' under the original p/a number.

The height of the flat roof appears to be slightly lower than before.

With the two proposed units incorporating 4-bedrooms flats we have concerns over parking provisions as only two spaces currently provided for a family unit of this size would not be sufficient.

We are completely in the hands of your Planning Team with their greater expertise and facilities, and trust they will take our points into consideration to arrive at the correct decision.

Officer comments: All the concerns raised are considered in the assessment of this application.

### **Internal Consultees**

Highways:

Highway comments have been addressed and the proposed access / parking layouts are now acceptable.

Conservation and Urban Design:

design issues raised have now been addressed and proposed layouts and elevations are now acceptable subject to conditions of submission of materials.

Access Officer:

In assessing this application, reference has been made to London Plan July 2011, Policy 3.8 (Housing Choice) and the Council's Supplementary Planning Document "Accessible Hillingdon" adopted May 2013. Compliance with all 16 Lifetime Home standards (as relevant) should be shown on plan.

The following access observations are provided:

1. Details of level access to and into the proposed dwelling should be submitted. A fall of 1:60 in the areas local to the principal entrance incorporated to prevent rain and surface water ingress. In addition to a levels plan showing internal and external levels, a section drawing of the level access threshold substructure, and water bar to be installed, including andrainage, should be submitted.
2. The designs do not include provision of a downstairs WC compliant with the Lifetime Home requirements. To this end, a minimum of 700 mm should be provided to one side of the toilet pan, with 1100 mm in front to opposite.
3. A minimum of one bathroom on the first floor should be designed in accordance with Lifetime Home standards. At least 700mm should be provided to one side of the WC, with 1100 mm provided between the front edge of the toilet pan door or wall opposite.
4. The designs do not include provision of a downstairs WC compliant with the Lifetime Home requirements.
5. The plans should indicate the location of a future 'through the ceiling' wheelchair lift.

Officer comment - These matters could be appropriately addressed through the imposition of an appropriate condition.

Flood & Water Management Officer:

The submitted plans have since been amended. The comments are noted and taken into account in the assessment of the application.

The application red line boundary appears to be different on different plans. The initial location plan appears to extend to the edge of the river boundary, however subsequent plans do not appear to include this area? I believe the Council own the ditch line here unless we have sold it? If it is part of the development I would require a management and maintenance plan for this area to ensure that the flood risk is managed.

Although the flood extents show that flooding would appear to remain in bank and the site is in a area of little or no risk according to the Environment Agency Maps. it is important that any development controls surface water appropriately as this ultimately discharges to the nearby ditch.

This is particularly important as this area has suffered from surface water flooding recently.

I therefore request the following condition:

'Prior to commencement, a scheme for the provision of sustainable water management shall be submitted to, and approved in writing by the Local Planning Authority. The scheme shall clearly demonstrate how it:

a) Manages Surface Water. The scheme shall demonstrate ways of controlling the surface water on site.

i. incorporates sustainable urban drainage in accordance with the hierarchy set out in Policy 5.15 of the London Plan. Where the proposal does not utilise the most sustainable solution, justification must be provided.

ii. provide information on all Suds features including the method employed to delay and control the water discharged from the site to Greenfield run off rates and:

a. calculations showing storm period and intensity and volume of storage required to control surface water and size of features to control that volume.

b. any overland flooding should be shown, with flow paths depths and velocities identified as well as any hazards, ( safe access and egress must be demonstrated).

iii. Demonstrates capacity and structural soundness in the receptors of Thames Water network and receiving watercourse as appropriate.

iv. During Construction

a. measures taken to prevent pollution of the receiving groundwater and/or surface waters;

b. how they or temporary measures will be implemented to ensure no increase in flood risk from commencement of construction.

b) Foul water

i. The Scheme shall demonstrate capacity in the receiving foul sewer network or provides suitable upgrades agreed by Thames Water.

c) Ground water

i. Where infiltration techniques (soakway) or a basement are proposed a site investigation must be provided to establish the risk of groundwater flooding on the site, and to demonstrate the suitability of infiltration techniques proposed on the site. (This should be undertaken at the appropriate time of year as groundwater levels fluctuate).

d) Minimise water use. The scheme shall also demonstrate the use of methods to minimise the use of potable water through water collection, reuse and recycling and will:

i. incorporate water saving measures and equipment.

ii. provide details of water collection facilities to capture excess rainwater;

iii. provide details of how rain and grey water will be recycled and reused in the development.

e) Long Term Management and Maintenance of the drainage system.

i. Provide a management and maintenance plan for the lifetime of the development of

arrangements to secure the operation of the scheme throughout its lifetime. Including appropriate details of Inspection regimes, appropriate performance specification, remediation and timescales for the resolving of issues. Where there is overland flooding proposed, the plan should include the appropriate actions to ensure the safety of the users of the site should that be required.

ii. Where the maintenance will not be the responsibility of an individual householder, the details of the body legally responsible for the implementation of the management and maintenance plan must be provided.

Thereafter the development shall be implemented and retained/maintained in accordance with these details for as long as the development remains in existence.

#### REASON

To ensure that surface water run off is controlled to ensure the development does not increase the risk of flooding contrary to Policy EM6 Flood Risk Management in Hillingdon Local Plan: Part 1- Strategic Policies (Nov 2012) Policy 5.12 Flood Risk Management of the London Plan (July 2011) and National Planning Policy Framework (March 2012) and the Planning Practice Guidance (March 2014). To be handled as close to its source as possible in compliance with Policy 5.13 Sustainable Drainage of the London Plan (July 2011 or Jan 2014), and conserve water supplies in accordance with Policy 5.15 Water use and supplies of the London Plan (July 2011).

Officer Comment - there does appear to be a level of overlap between Council owned land and the application site, but the Council have been notified as landowner (e.g. the correct certificates have been served). The applicant would need to obtain the land or permission to undertake any development on it and the ownership is therefore not a planning matter. The proposed condition includes management and maintenance and would cover all necessary matters.

Trees & Landscape Officer:

#### LANDSCAPE CHARACTER / CONTEXT:

Site description:

- The 1,349 hectare site is situated on the west side of High Road and to the north of Oak Avenue.
- The front of the plot is currently occupied by a two-storey detached property (number 61) which is in commercial use, fronting onto High Road.
- 61A is a former chapel and locally listed building, currently used as a store, situated in the south-east corner of the site.
- The rear of the site is an open storage yard, which is accessed via an unmade up track along the northern boundary which also provides access to the public open space.
- There is a small open green space between the access track and the Soldiers Return pub to the north.
- The tree-lined boundary of Ickenham Village Green is situated to the rear of the site.
- There are a number of trees, including off-site trees, which contribute to the setting of the site, some of which are close enough to influence the site
- There is a watercourse running along the edge of the southern boundary.

Landscape Planning designations:

- There are no Tree Preservation Orders and no Conservation Area designations affecting the site.
- The land to the west of the site is designated Green Belt.

#### PROPOSAL:

The proposal is to demolish the existing office and residential buildings and build 3 x two storey, 3-bed and 3 x two-storey, 4-bed terraced dwellings with habitable roofspace with bin store and associated

parking, landscaping and amenity space.

#### LANDSCAPE CONSIDERATIONS:

Saved policy BE38 seeks the retention and utilisation of topographical and landscape features of merit and the provision of new planting and landscaping wherever it is appropriate.

- A Tree Survey, by Tree Ventures, has assessed the condition and value of 18No. trees which are close enough to influence the site.
- No 'A' grade (good) trees have been identified.
- 6No. 'B' grade (fair) trees are present: T7, T8, T9, T11, T14 and T17 on the schedule. The quality and value of these trees indicates that they have a safe useful life expectancy and merit protection and retention on a development site.
- There are 3No. 'U' grade trees whose condition justifies removal on the grounds of good arboricultural management.
- The remaining trees are graded 'C' (poor). The removal of this category of tree may be justified. However, they may have enough collective landscape / ecological value to justify their retention if feasible.
- The report concludes that the proposed layout of the development minimizes the impact on existing trees and provides scope and opportunity for safeguarding most of the trees and establishing new tree planting.
- The report also provides a Tree Constraints Plan, Arboricultural Implications Assessment, Method Statement and a Tree Protection Plan.
- The Tree Protection Plan indicates that T6, a 'U' grade sycamore in the south-east corner of the site will be removed. A total of 7No. new trees are proposed on plan.
- At 4.3.1, the report recommends that the arboricultural consultant carries out site supervision at specified stages of the project on site. This should be conditioned.
- There is no objection to the findings of the report.
- The Design & Access Statement explains the hard and soft landscape strategy in section 9.0, supported by illustrative details, indicating the quality of materials envisaged.
- A Phase 1 Habitat Survey has been submitted. In Appendix F, a range of protection and enhancement measures are suggested. Most of these relate to tree protection and species selection which will be captured through the landscape conditions.
- If the application is recommended for approval, landscape conditions should be imposed to ensure that the proposals preserve and enhance the character and local distinctiveness of the surrounding natural and built environment.

#### RECOMMENDATIONS:

This site has been subject to pre-application discussions and the proposed tree retention and landscape proposals reflect the outcome of the discussions.

No objection, subject to the above observations and RES6, RES7, RES8 (to include site monitoring by the tree consultant), RES9 (parts 1,2,4,5, and 6).

Officer comments: Noted and taken into account in the consideration of this application. The appropriate planning conditions are recommended.

#### CONSERVATION & URBAN DESIGN

Design advice was provided to overcome concerns relating to the original designs which did not respond to the local vernacular. No objections are raised to the current proposals.

#### GREEN SPACES

Having discussed the application with the planning officer no objections are raised subject to adequate provisions being put in place for the short and long term access to the Ickenham Green including for maintenance vehicles.

## **7. MAIN PLANNING ISSUES**

### **7.01 The principle of the development**

The proposed site is located within the 'Developed Area' as identified in the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012). The site is not located in a conservation area although it abuts a Metropolitan Green Belt it does not fall in it. However the ('Old Chapel') part of the existing building is locally listed and is proposed to be demolished. As the locally listed part has already been granted permission for demolition, no objection is raised in respect of the loss of the 'old chapel.'

Redevelopment of the site is therefore not opposed and the opportunity to enhance this part the High Road is welcomed.

### **7.02 Density of the proposed development**

The site currently has a Public Transport Accessibility Level of 3. The proposal is for 6 units with a total of 27 habitable rooms, which equates to 4.5 habitable rooms per unit. The proposed scheme would have a density of 42.8 units/hectare or 192.8 habitable rooms per hectare. This is in line with the London Plan 2015 Density Matrix, which states that a density of 35-65 units per hectare or 150-250 habitable rooms per hectare would be appropriate in this location. No objection is raised in this regard.

### **7.03 Impact on archaeology/CAs/LBs or Areas of Special Character**

The site does not fall within a conservation area. However, Council's Conservation and Urban Design Officer has reviewed the proposal and determined that the scheme is acceptable in principle.

There are no conservation and archaeological issues associated with the proposed development.

### **7.04 Airport safeguarding**

There are no safeguarding issues associated with this application.

### **7.05 Impact on the green belt**

The application site does adjoin the neighbouring Metropolitan Green Belt. Policy OL5 of the Hillingdon Local Plan: Part Two UDP Policies advises that proposals adjacent to or conspicuous from the Green Belt should not injure its visual amenities. The Council's Tree and Landscape Officer has raised no objection and given the recommended trees to be retained and be planted along this rear boundary there would be some screening of the buildings from the Green Belt which has been conditioned. It is considered that the proposal is not likely to have a significant impact on the Green Belt and would comply with the aims of the NPPF and Policy OL5.

### **7.07 Impact on the character & appearance of the area**

Policy BE1 of the Hillingdon Local Plan: Part One - Strategic Policies (November 2012) requires all new development to maintain the quality of the built environment including providing high quality urban design. Policy BE13 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012) states that development will not be permitted if the layout and appearance fails to harmonise with the existing street scene, whilst Policy BE19 seeks to ensure that new development within residential areas compliments or improves the amenity and character of the area.

Policy 3.5 of the London Plan states that the design of all new housing developments should

enhance the quality of local places, taking into account physical context and local character and Policy 7.4 states that buildings, should provide a high quality design response that has regard to the pattern and grain of the existing spaces and streets in orientation, scale, proportion and mass and allows existing buildings and structures that make a positive contribution to the character of a place to influence the future character of the area.

The design approach of the proposed houses, has been informed by the design of the three storey terraced houses adjacent (Santry House) and the neighbouring properties surrounding it. The houses will comprise of render brick facades, brick boundary walls, stone concrete cills, composite windows and pitched roofs. The rear gardens will be located at ground floor level, to correspond with the ground level gardens at Oak Avenue.

The original plans submitted with the application proposed a mansard form of roof with flat top. However, the plans have since been amended to take into account conservation & urban design comments to propose new buildings which have a largely traditional appearance with pitched roof and are of a modest scale at 3 storeys in height. They would sit comfortably with the existing buildings along the High Road and are of a simple architectural style, that would compliment the overall character and appearance of the development site.

Subject to conditions to secure appropriate landscaping/materials, it is considered that the scheme is compliant with saved Policies BE13, BE21 and BE22 of the Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012), and relevant London Plan policies.

#### **7.08 Impact on neighbours**

Policies BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two-Saved Policies seek to ensure that new development does not generate adverse impacts in respect to sunlight and privacy. Because of the orientation of the site, and the size and siting of the proposed buildings, no significant loss of daylight and sunlight to adjoining properties would result from this development.

In relation to outlook, policy BE21 requires new residential developments to be designed to protect the outlook of adjoining residents. The Supplementary Planning Document (SPD) HDAS: Residential Layouts advises that for two or more storey buildings, adequate distance should be maintained to avoid over dominance. The proposal is located across open space between the adjoining public house, and the ground level of the site sits a significant distance from the rear of the dwellings along Oak avenue. As such, the new dwellings would be a minimum of 45m metres from the rear building line of the nearest property, which will ensure there is no impact on the privacy of the existing residential units.

In addition, the siting and orientation of the proposed additional dwellings, would not result in significant loss of light to existing and proposed neighbouring properties. It is not therefore considered that the proposal would result in an over dominant form of development which would detract from the amenities of neighbouring occupiers, in compliance with policy BE21 of the Hillingdon Local Plan: Part Two-Saved Policies.

Overall, it is not considered that there would be a material loss of daylight or sunlight to neighbouring properties, as the proposed buildings would be sited a sufficient distance away from adjoining buildings. It is also considered given its layout that there will be a good level of day lighting for the proposed development. The proposed development is considered to

be consistent with policies BE20, BE21 and BE24 of the Hillingdon Local Plan: Part Two-Saved Policies.

## **7.09 Living conditions for future occupiers**

### **AMENITY SPACE**

Each of the proposed houses will have their own private rear garden, ranging in size from between 50sqm and 60sqm. The proposed gardens fall below the Council's standards which seek to achieve a minimum of 60sqm for 3 bed units and 100sqm for 4 bed units. However, gardens of a similar size are within the Summer Gardens, the Cotton Drive and the wider surroundings. It is considered that given the size and nature of the site, achieving an appropriate form of development, together with the minimum garden sizes would not be possible or viable. It is considered unreasonable for the Council to object to the size of the amenity space in this case.

On balance, whilst a number of the houses have private amenity space below the Council's requirements, the overall amenity space provision and the landscape Masterplan for the site is considered to result in sufficient amenity provision for the future occupiers of the site and are considered to result in an acceptable living environment.

### **INTERNAL LAYOUT**

In terms of internal space standards and the quality of accommodation provided, the Hillingdon Design and Accessibility Statement (HDAS) 'Residential Layouts' requires all new residential units to be built to lifetime home standards and 10% of units designed to wheelchair accessible standards. Further guidance is also provided in the London Plan on floor space standards for new residential development to ensure sound environmental conditions are provided on site. As a guide, the recommended minimum standards for residential units are:

3-bed 6-person house - 102sqm

4-bed 6-person house - 113sqm

The floor space information provided by the applicant indicates that all the proposed units within the development exceed the recommended floor space standards for all of the units.

The applicant has confirmed that Lifetime Home standards will be met for all the units, and this will be secured via a condition on any grant of permission.

### **OUTLOOK**

In terms of outlook for future residents, Policy BE21 of the Unitary Development Plan Saved Policies seek to ensure that new development would not have a significant loss of residential amenity, by reason of the siting, bulk and proximity of new buildings.

In this regard, it is considered that the proposed site layout would provide a high standard of amenity for future occupiers. The layout will result in a satisfactory outlook from the proposed units in the buildings and reduce the potential for nuisance and disturbance to the future occupiers. As such, the development is considered to be consistent with relevant design guidance and policies BE21 and OE1 of the Hillingdon Local Plan: Part Two-Saved Policies.



All of the units would benefit from an acceptable level of privacy and light, in compliance with the Council's standards given in The Hillingdon Design and Accessibility Statement (HDAS) 'Residential Layouts'.

## SUSTAINABILITY

The proposed houses have been designed to reduce energy demand and carbon dioxide emissions through incorporation of a number of measures.

### **7.10 Traffic impact, car/cycle parking, pedestrian safety**

Policy AM7 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) considers whether the traffic generated by proposed developments is acceptable in terms of the local highway and junction capacity, traffic flows and conditions of general highway or pedestrian safety. Policy AM14 of the Hillingdon Local Plan: Part 2 - Saved UDP Policies (November 2012) seeks to ensure that all development is in accordance with the Council's adopted Car Parking Standards.

It is considered that the vehicle trip generation resulting from this proposal is not likely to significantly impact on the capacity of the highways network.

The proposal includes two car parking spaces for each of the dwellings. It is noted that the PTAL index within the area of the site is 3, which is classified as good. As a result, it is considered that the proposed car parking provision is acceptable to serve the site.

Access to the site will remain as existing from Ickenham High Road. It is considered that the development would not be contrary to the Policies of the adopted Hillingdon Local Plan, 2012, Part 2, and an objection is not raised in relation to the highway and transportation aspect of the proposals.

### **7.11 Urban design, access and security**

The design and access aspects of the proposal are addressed in other sections of this report.

The Council would expect the scheme to adhere to the principles of Secured by Design, and a condition to ensure this would be imposed on any grant of planning permission.

The scheme is in compliance with Lifetime Homes standards and this would be ensured via a condition on any permission. No units are shown to wheelchair standard, however, given the size of the units, modifications could easily be made to ensure they are accessible and a condition to this end is recommended.

### **7.12 Disabled access**

The scheme has been reviewed by the Council's Access Officer, who raises no objection to the proposed development subject to conditions to meet all lifetime Homes requirements. This could be secured by planning conditions if planning permission is granted.

### **7.13 Provision of affordable & special needs housing**

Not applicable to the consideration of this application.

### **7.14 Trees, Landscaping and Ecology**

A Tree Report has been submitted with the application which assesses the condition of individual trees, planting and management plan and tree protection method.

The Council's Tree Officer has raised no objection and recommends a number of conditions

which are incorporated to secure a suitable landscape proposal for the site and ensure protection for the existing trees.

#### **7.15 Sustainable waste management**

No refuse or recycling storage are shown on the submitted plans. However given the size of the site, there is ample space within the curtilage and building for such to be provided and a condition is recommended for any consent to secure such.

#### **7.16 Renewable energy / Sustainability**

Policy 5.3 of the London Plan 2011 requires the highest standards of sustainable design and construction to be achieved. In the past, to ensure the development complies with this policy a condition would have been added to any approval for the development to be built to Code for Sustainable Homes Level 4, with an interim certificate and specification provided before the commencement of works. However, Code for Sustainable Homes is no longer applicable, as these matters are now covered under the Building Regulations.

#### **7.17 Flooding or Drainage Issues**

The Council's Flood & Water management Officer raises no objection to the scheme and recommends that a management and maintenance plan for this area to ensure that any flood risk is managed, which would be applied.

#### **7.18 Noise or Air Quality Issues**

There are no noise or air quality issues resulting from this development.

#### **7.19 Comments on Public Consultations**

The comments raised by residents have been addressed within the report.

#### **7.20 Planning Obligations**

The proposed schemes access arrangement would be shared with that of the Ickenham Green which is a public open space managed by the Council's Green Spaces Team and the access road is also owner by that team.

In these circumstances it is considered necessary to ensure a planning obligation is in place to secure appropriate measures relating to safe access to the open space during construction and to ensure that the final specification and detailing of this area is appropriate (including hard/soft landscaping, lighting, fencing, gates and if appropriate other security measures such as CCTV).

It is also considered necessary that the obligation sets out the responsibilities and liabilities in terms of maintenance of these works.

The scheme has a Hillingdon CIL liability of £ 49,307.00 and Mayoral CIL liability of £ 19,306.19

#### **7.21 Expediency of enforcement action**

Not relevant to the consideration of this application.

#### **7.22 Other Issues**

There are no other issues for consideration with this application.

### **8. Observations of the Borough Solicitor**

General

Members must determine planning applications having due regard to the provisions of the development plan so far as material to the application, any local finance considerations so far as material to the application, and to any other material considerations (including regional and national policy and guidance). Members must also determine applications in accordance

with all relevant primary and secondary legislation.

Material considerations are those which are relevant to regulating the development and use of land in the public interest. The considerations must fairly and reasonably relate to the application concerned.

Members should also ensure that their involvement in the determination of planning applications adheres to the Members Code of Conduct as adopted by Full Council and also the guidance contained in Probity in Planning, 2009.

#### Planning Conditions

Members may decide to grant planning consent subject to conditions. Planning consent should not be refused where planning conditions can overcome a reason for refusal. Planning conditions should only be imposed where Members are satisfied that imposing the conditions are necessary, relevant to planning, relevant to the development to be permitted, enforceable, precise and reasonable in all other respects. Where conditions are imposed, the Council is required to provide full reasons for imposing those conditions.

#### Planning Obligations

Members must be satisfied that any planning obligations to be secured by way of an agreement or undertaking pursuant to Section 106 of the Town and Country Planning Act 1990 are necessary to make the development acceptable in planning terms. The obligations must be directly related to the development and fairly and reasonably related to the scale and kind to the development (Regulation 122 of Community Infrastructure Levy 2010).

#### Equalities and Human Rights

Section 149 of the Equalities Act 2010, requires the Council, in considering planning applications to have due regard to the need to eliminate discrimination, advance equality of opportunities and foster good relations between people who have different protected characteristics. The protected characteristics are age, disability, gender reassignment, pregnancy and maternity, race, religion or belief, sex and sexual orientation.

The requirement to have due regard to the above goals means that members should consider whether persons with particular protected characteristics would be affected by a proposal when compared to persons who do not share that protected characteristic. Where equalities issues arise, members should weigh up the equalities impact of the proposals against the other material considerations relating to the planning application. Equalities impacts are not necessarily decisive, but the objective of advancing equalities must be taken into account in weighing up the merits of an application. The weight to be given to any equalities issues is a matter for the decision maker to determine in all of the circumstances.

Members should also consider whether a planning decision would affect human rights, in particular the right to a fair hearing, the right to respect for private and family life, the protection of property and the prohibition of discrimination. Any decision must be proportionate and achieve a fair balance between private interests and the public interest.

#### **9. Observations of the Director of Finance**

Not applicable to the consideration of this application.

#### **10. CONCLUSION**

Overall, Officers consider that the existing building by reason of its style, design and

location, provides only a neutral contribution to the surrounding area. Whilst the demolition of this building is regrettable, officers consider that this is acceptable in the context of the site given the acceptable design, scale and siting of the proposed replacement buildings. The proposed replacements are not considered to have a detrimental impact on the overall character and appearance of the surrounding. The scheme will not have a detrimental impact on the amenities of the surrounding occupants nor have an adverse impact on pedestrian or highway safety.

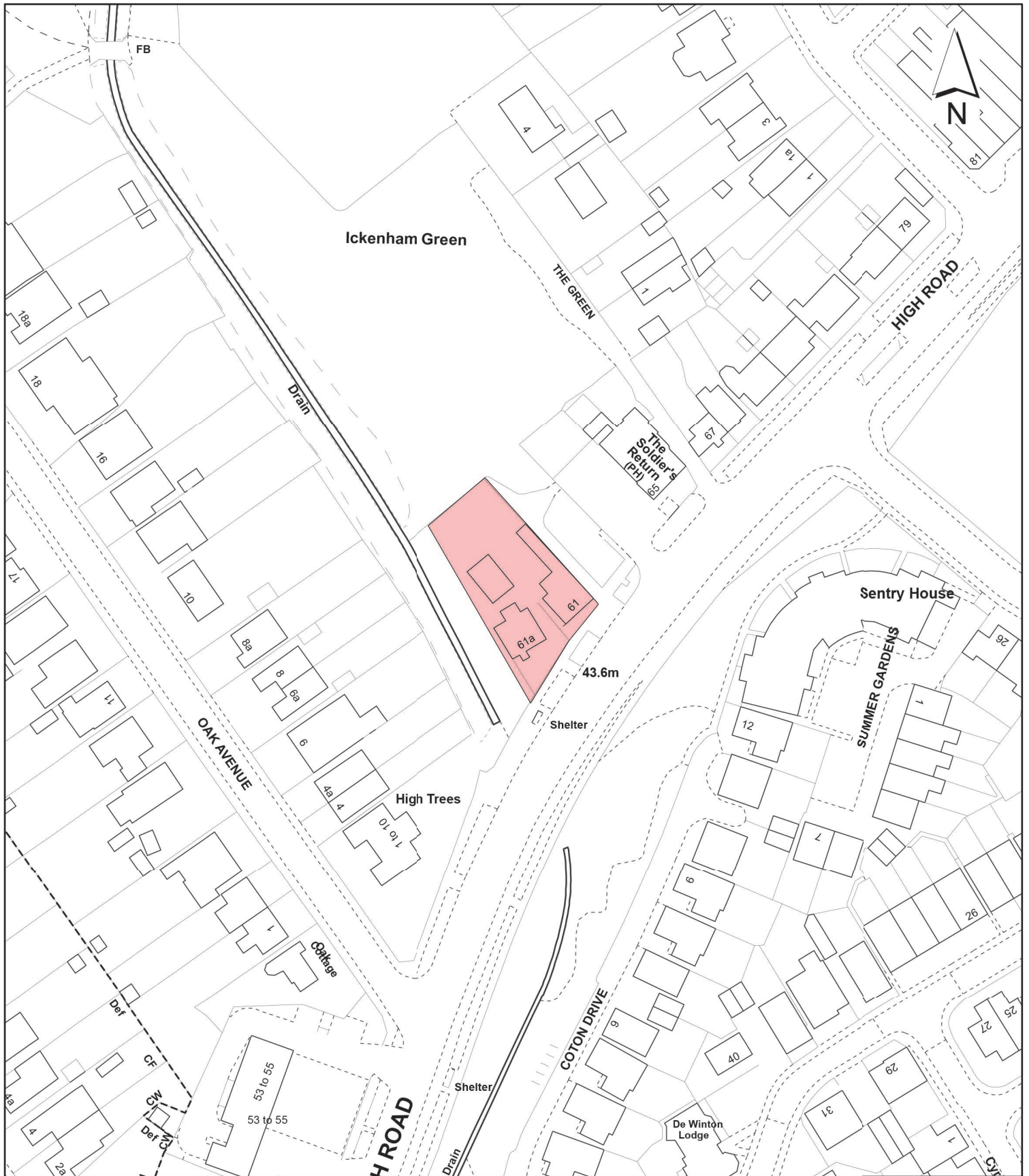
The scheme is thereby considered to comply with the relevant policies of the London Plan, Hillingdon Local Plan: Part Two - Saved UDP Policies and Supplementary Planning Documents.

#### **11. Reference Documents**

Hillingdon Local Plan: Part Two - Saved UDP Policies (November 2012).  
National Planning Policy Framework.  
Hillingdon Design and Access Statement 'Residential Layouts'.  
Supplementary Planning Document 'Accessible Hillingdon'.  
Supplementary Planning Document Noise.  
The London Plan 2011.  
GLA's Supplementary Planning Guidance - Housing.

**Contact Officer:** Peter Korankye-Gyabong

**Telephone No:** 01895 250230



**Notes:**

 Site boundary

For identification purposes only.  
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Site Address:

**61 & 61A High Road  
 Ickenham**

Planning Application Ref:

**51656/APP/2014/4334**

Planning Committee:

**North Page 87**

Scale:

**1:1,250**

Date:

**July 2015**

**LONDON BOROUGH  
 OF HILLINGDON**

**Residents Services  
 Planning Section**  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111



**HILLINGDON**  
 LONDON

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## Report of the Head of Planning and Enforcement

### S.106/278 PLANNING AGREEMENTS - QUARTERLY FINANCIAL MONITORING REPORT

#### SUMMARY

This report provides financial information on s106 and s278 agreements in the North Planning Committee area up to 31 March 2015 where the Council has received and holds funds.

#### RECOMMENDATION

**That Members note the contents of this report.**

#### INFORMATION

1. Circular 05/05 and the accompanying best practice guidance required local planning authorities to consider how they could inform members and the public of progress in the allocation, provision and implementation of obligations whether they are provided by the developer in kind or through a financial contribution. Although Circular 05/05 has now been replaced by the National Planning Policy Framework (March 2012), this is still considered to be good practice.
2. The information contained in this report was reported to Cabinet on 18th June 2015 and updates the information received by Cabinet in March 2015. The attached Appendix 1 provides updated financial information on s106 and s278 agreements in the North Planning Committee area up to 31 March 2015, where the Council has received and holds funds.
3. Appendix 1 shows the movement of income and expenditure taking place during the financial year. The agreements are listed under Cabinet portfolio headings. Text that is highlighted in bold indicates key changes since the previous report of April 2015 to the Planning Committee. Figures shown in bold under the column headed 'Total income as at 31/03/15' indicate new income received. Agreements asterisked under the column headed 'case ref' are those where the Council holds funds but is unable to spend for a number of reasons. These include cases where the funds are held as a returnable security deposit for works to be undertaken by the developer and those where the expenditure is dependant on other bodies such as transport operators. In cases where schemes have been completed and residual balances refunded, the refund amount is either the amount listed in the "Balance of Funds" column or where the amount listed in this column is zero the difference between the amounts listed in the columns titled "Total Income as at 31/12/14" and "Total Income as at 31/03/15".

4. Members should note that in the Appendix, the 'balances of funds' held include funds that may already be committed for projects such as affordable housing and school expansion projects. Expenditure must be in accordance with the legal parameters of the individual agreements and must also serve a planning purpose and operate in accordance with legislation and Government guidance in the form of the National Planning Policy Framework (March 2012). The Council has adopted Supplementary Planning Guidance for Planning Obligations that provides the framework in which the Council will operate.
5. Members should also note that the listed "balances of funds", i.e. the difference between income received and expenditure, is not a surplus. As explained in a previous report, a majority of the funds is linked to projects that are already underway or programmed but have not been drawn down against the relevant s106 (or s.278) cost centre. The column labelled "balance spendable not allocated" shows the residual balance of funds after taking into account funds that the Council is unable to spend and those that it has committed to projects.

### **Financial implications**

6. This report provides information on the financial status on s106 and s278 agreements up to 31 March 2015. The recommendation to note has no financial implications.

### **CORPORATE CONSULTATIONS CARRIED OUT**

#### Legal

It is a requirement of the District Audit report into planning obligations and the Monitoring Officers report that regular financial statements are prepared.

### **EXTERNAL CONSULTATIONS CARRIED OUT**

There are no external consultations required on the contents of this report.

### **BACKGROUND DOCUMENTS**

ODPM Circular 05/2005 'Planning Obligations' (deleted)  
DCLG National Planning Policy Framework adopted March 2012  
District Auditor's "The Management of Planning Obligations" Action Plan May 1999  
Monitoring Officers Report January 2001  
Planning Obligations Supplementary Planning Document Adopted July 2008.

Cabinet Report December 2002 / March 2003 / October 2003 / January 2004 / June 2004 / September 2004 / November 2004 / March 2005 / July 2005 / October 2005 / December 2005 / March 2006 / July 2006 / Sept 2006 / November 2006 / March 2007 / July 2007 / September 2007 / December 2007 / March 2008 / June 2008 / September

### **North Planning Committee - 16th July 2015 PART 1 - MEMBERS, PUBLIC & PRESS**



2008 / December 2008 / March 2009/ June 2009 / September 2009 / December 2009 /  
March 2010/ June 2010/ September 2010 / December 2010/ March 2011/ June 2011/  
September 2011/ December 2011/March 2012/June 2012/Sept 2012 /December 2012/  
March 2013/ June 2013/ September 2013/ December 2013/ March 2014./ June 2014/  
September 2014/.December 2014/March 2015/ June 2015.

**Contact Officer:** Nikki Wyatt

Telephone No: 01895 - 2508145

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2015)
			AS AT 31/03/15	AS AT 31/03/15	AS AT 31/12/14	To 31/03/15	AS AT 31/03/15	AS AT 31/03/15	
<b>SECTION 278</b>									
<b>PORTFOLIO: PLANNING TRANSPORTATION AND RECYCLING</b>									
PT/278/46/135 *32	Northwood	10A Sandy Lodge Way, Northwood 54671/APP/2002/54	7,456.07	2,458.00	2,458.00	0.00	5,000.07	0.00	Improvement of visibility for junction of Sandy Lodge Way & Woodridge Way. ECU fees have been claimed and £5,000 security remains. Works substantially complete. 12 month maintenance period, ended 16 September 2006. Final certificate has been prepared. Security held to part offset outstanding education contribution which is being sought via legal proceedings.
PT/278/63/175A *49	South Ruislip	BFPO, R.A.F Northolt 189/APP/2006/2091	5,000.00	0.00	0.00	0.00	5,000.00	0.00	£5k received as the security deposit for the due and proper implementation of junction works at the White House Gate entrance to the development. Signals complete and in operation. Currently within 12 month maintenance period. Date of final completion to be confirmed.
PT/278/64/173	Eastcote & East Ruislip	R.A.F. Eastcote 10189/APP/2004/1781	19,200.00	12,201.13	12,201.13	0.00	6,998.87	0.00	Engineers fees paid prior to the execution of an agreement to secure access works associated with this application. Waiting restriction in Lime Grove undertaken. Elm Ave/Lime Grove junction improvement pending. Elm Ave Pedestrian crossing technical approval pending. (£5,500) design fees received plus further £6,700 for temporary footpath works carried out by LBH. £7,500 engineering fees claimed. Funds spent towards temporary footpath works. Further £5,000 security deposit for proper execution of highway works.
PT/278/72/231A *66	West Ruislip	R.A.F West Ruislip (Ickenham Park) Design check on S278 Designs 38402/APP/2007/1072	53,986.57	45,486.57	45,486.57	0.00	8,500.00	0.00	Fees received for design checks. Pelican crossing and signals on Long Lane. S278 agreement and technical approval pending. Further £18,000 returnable deposit received to ensure reinstatement of temporary crossover on Alysham Drive. Further fees received towards inspection fees and traffic orders. Spend towards fees & inspection. Works completed. deposit returned.
PT/278/73	South Ruislip	R.A.F Northolt, South Ruislip/Main Gate 189/APP/2007/1321	2,000.00	0.00	0.00	0.00	2,000.00	0.00	Fees received for design checks. Junction improvements at West End Road/ Bridgewater Road. S278 agreement and technical approval pending.
PT/278/77/197 *62	Ruislip Manor	Windmill Hill Public House, Pembroke Road, Ruislip 11824/APP/2632	24,000.00	1,000.00	1,000.00	0.00	23,000.00	0.00	Fees received for design checks (£1,000). £23,000 received as a security deposit to ensure works are carried out to a satisfactory standard. £1,000 engineering fees claimed.
PT/278/78/238G *76	West Ruislip	Fmr Mill Works, Bury Street, Ruislip 6157/APP/2009/2069	19,782.00	14,782.00	14,782.00	0.00	5,000.00	0.00	Fees received for design checks and monitoring & supervision. £5,000 received as a security deposit to ensure highway works are carried out to a satisfactory standard. Fees claimed for design checks & monitoring (£14,752).
PT/278/86/237E	Eastcote & East Ruislip	Bishop Ramsey School (lower site), Eastcote Road, Ruislip - High Grove access 19731/APP/2006/1442	14,146.46	10,729.21	10,729.21	307.63	3,417.25	0.00	Funds received for the completion of remedial highway works and fees associated with the 278 agreements. £7,953.59 claimed towards remedial works & fees. 13/14. Further £307.63 claimed
<b>SECTION 278 SUB - TOTAL</b>			<b>145,573.10</b>	<b>86,656.91</b>	<b>86,656.91</b>	<b>307.63</b>	<b>58,916.19</b>	<b>0.00</b>	
<b>SECTION 106</b>									
<b>PORTFOLIO: PLANNING TRANSPORTATION AND RECYCLING</b>									
PT/25/56 *24	South Ruislip	J Sainsbury, 11 Long Drive, Ruislip 33667/179/0684	37,425.09	0.00	0.00	0.00	37,425.09	0.00	Highway improvements adjacent to the site. Legal advice stated that because of time that has elapsed, it would not be reasonable to proceed without Sainsbury's agreement. Officers investigating the potential to utilise these funds for traffic congestion mitigation at that junction to complement current works that have been commissioned for that location. A portion of land owned by Sainsbury's would need to be dedicated as public highway for the scheme to be feasible. Traffic congestion mitigation scheme is fully funded. Officers investigating whether improvements could be tied into 114 bus route project. Excess funds are to be refunded to the developer following the date of the Final Account.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2015)
			AS AT 31/03/15	AS AT 31/12/14	AS AT 31/03/15	AS AT 31/12/14	To 31/03/15	AS AT 31/03/15	AS AT 31/03/15	
PT/76/119	Northwood	Land at 64 Ducks Hill Road Northwood /26900L/99/1077	35,253.56	35,253.56	28,119.15	28,119.15	0.00	7,134.41	0.00	To provide a speed camera, anti-skid surface and associated road markings in Ducks Hill Road. Speed camera cannot be installed in this location, as the accident rate in this location is below the threshold established by TL. Deed of variation not required site included in vehicle activated sign (VAS) forward programme. Officers looking into feasibility of 'Driver Feedback Sign'. Implementation due Spring 2007, subject to feasibility. Quotes being sought with the view to possible purchase of signs. Interest accrued. No time constraints. Utilities works completed Nov 08. Scheme programmed for implementation April/May 2010. Spend towards the provision of anti skid and electrical work. VAS signs installed, scheme complete, awaiting invoices.
PT/117/231B	West Ruislip	Former RAF West Ruislip (Ickenham Park), High Road, Ickenham, 38402/APP/2007/1072	30,000.00	30,000.00	3,222.60	0.00	3,222.60	26,777.40	0.00	Funds received towards improvements to cycle route 89/network 93 as part of the London Cycle Network. Funds to be spent within 5 years of receipt (Nov 2015). Funds allocated towards improved provision for cyclists in Ickenham High Road (Cabinet Member Decision 29/1/15). Scheme on site April 2015.
PT/12/238H	West Ruislip	Fmr Mill Works, Bury St, Ruislip, 6157/APP/2009/2069	34,603.50	34,603.50	0.00	0.00	0.00	34,603.50	34,603.50	Contribution received towards carbon reduction projects in the Ruislip area. Earmarked towards projects to reduce CO2 emissions at Ruislip Early Years Centre. Funds to be spent within 7 years of receipt (Apr 2019).
PT/143/323A	Cavendish	150 Field End Road, (initial House), Eastcote, Pinner, 25760/APP/2013/3632	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	20,000.00	Contribution received towards improving town centre facilities in the Authority's Area. No time limits for spend.
PT/148/327 *105	Northwood Hills	Northwood School, Potter Street, Northwood, 12850/APP/2013/1810	20,000.00	20,000.00	0.00	0.00	0.00	20,000.00	0.00	Contribution received as the travel plan bond to ensure compliance by the owner to its monitoring and reporting obligations. Funds to be returned at the end of the monitoring period (2024).
		<b>PLANNING TRANSPORTATION &amp; RECYCLING SUB - TOTAL</b>	<b>177,282.15</b>	<b>177,282.15</b>	<b>31,341.75</b>	<b>28,119.15</b>	<b>3,222.60</b>	<b>145,940.40</b>	<b>54,603.50</b>	
		<b>PLANNING TRANSPORTATION &amp; RECYCLING TOTAL</b>	<b>322,855.25</b>	<b>322,855.25</b>	<b>117,998.66</b>	<b>114,776.06</b>	<b>3,530.23</b>	<b>204,856.59</b>	<b>54,603.50</b>	
<b>PORTFOLIO: EDUCATION AND CHILDREN'S SERVICES</b>										
EYL/110/205C	Eastcote	RAF Eastcote, Lime Grove, Ruislip, 10189/APP/2004/1781	3,755,319.11	3,755,319.11	3,066,954.11	2,632,285.50	434,668.61	688,365.00	688,365.00	A total of £3,755,319 received in three instalments towards the cost of providing nursery, primary or secondary education places or improvements in the North Secondary Planning Area. Funds to be spent by September 2016. £668,998 has been allocated and spent towards expansion at Ruislip High School (Cabinet Member Decision 21/10/2010) and £342,000 towards Deansfield Early Years Centre (Cabinet Member Decision 28/10/2010). A further £779,000 has been allocated and spent towards the expansion of Harlyn Primary School and £686,466.96 allocated and spent towards Field End Primary School as part of Phase 2 of the Primary Expansion Programme (Cabinet Member Decision 19/3/13). £414,115.99 not used in financing 2011/14. Reallocated and spent towards Harlyn Primary School (Cabinet Member Decision 19/03/2015). £688,365 remains available from this contribution to be allocated towards secondary school places.
EYL/121/221	Ruislip Manor	2, Windmill Hill, Ruislip, 35595/APP/2008/2951	6,438.00	6,438.00	6,438.00	0.00	6,438.00	0.00	0.00	Funds received towards the provision of additional nursery and primary school places in the vicinity of the site. No time limits. Contribution allocated and spent towards expansion at Ruislip Gardens Primary School as part of the Primary Expansion Programme (Cabinet Member Decision 19/03/2015).
EYL/137/237B	Eastcote	Bishop Ramsey School (lower site), Eastcote Road, Ruislip, 19731/APP/2006/1442	426,346.97	426,346.97	0.00	0.00	0.00	426,346.97	426,346.97	Funds received towards the costs of providing primary education places to primary schools in Primary Area 3. Funds to be spent by February 2016.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2015)
EYL/138/238C	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	AS AT 31/03/15 512,742.69	AS AT 31/03/15 298,439.38	AS AT 31/12/14 512,742.69	To 31/03/15 0.00	AS AT 31/03/15 214,303.31	AS AT 31/03/15 214,304.00	Funds received as 50% of the education contribution towards the cost of providing nursery, primary and secondary facilities in the Borough (See legal agreement). Funds to be spent by February 2018. Further £261,446.35 received as remaining 50% education contribution. £112,742 allocated and spent towards expansion at Ruislip Gardens Primary School as part of Phase 2 of the Primary Expansion Programme (Cabinet Member Decision 19/3/2013). Further £185,696 allocated and spent towards expansion at Ruislip Gardens Primary School (Cabinet Member Decision 24/01/2014).
EYL/139/239B	Eastcote	Highgrove House, Eastcote Road, Ruislip. 10622/APP/2006/2294 & 10622/APP/2009/2504	64,920.00	64,920.00	64,920.00	0.00	0.00	0.00	Funds received towards the costs of providing educational improvements or facilities in the Borough. No time limits. Allocated towards expansion at Field End Infant & Primary School (Cabinet Member Decision 24/01/2014). Contribution not used in financing 2013/15. Reallocated and spent towards Ruislip Gardens Primary school as part of the Primary Expansion Programme (Cabinet Member Decision 19/03/2015).
EYL/164/270	Eastcote & East Ruislip	103 Park Ave, Ruislip 49273/APP/2011/933	10,885.00	10,885.00	10,885.00	0.00	0.00	0.00	Contribution received towards providing improvements to education facilities in the vicinity of the site arising from the needs of the development. No time limits for spend. Contribution allocated and spent towards expansion at Glebe Primary School as part of the Primary Expansion Programme (Cabinet Member Decision 19/03/2015).
EYL/167/275	Eastcote & East Ruislip	Fmr Highgrove Day Nursery, Campbell Close, Ruislip 48552/APP/2009/234	7,102.00	7,102.00	7,102.00	0.00	0.00	0.00	Contribution received towards providing improvements to education facilities in the vicinity of the site arising from the needs of the development. No time limits for spend. Contribution allocated and spent towards expansion at Glebe Primary School as part of the Primary Expansion Programme (Cabinet Member Decision 19/03/2015).
EYL/171/281	Harefield	Fmr White Horse, Church Hill Harefield. 38029/APP/2010/2743	13,510.00	13,510.00	13,510.00	6,695.70	0.00	0.00	Contribution received towards the provision of additional or improved educational facilities within a 3 mile radius of the site, to accommodate the child yield arising from the development. No time limits for spend. £13,510 allocated towards additional accommodation at Harefield Primary School (Cabinet Member Decision 24/01/2014). £6,695.70 spent towards the scheme March quarter. Further £5,695.70 spent towards Harefield Primary school.
EYL/184/296	Harefield	Fmr Swan PH, Swan Rd, Breakspear Road North, Harefield. 18239/APP/2012/296	7,718.00	7,718.00	7,718.00	0.00	0.00	0.00	Contribution received towards education improvements or facilities including new school facilities; improvements to existing school facilities to accommodate extra children or improvements to playgrounds (see agreement for details). No time limits. Allocated towards additional accommodation at Harefield Primary School (Cabinet Member Decision 24/01/2014). Spent towards Harefield Primary school.
EYL/186/299A	Cavendish	161 Elliot Ave (fmr Southbourne Day Centre), Ruislip. 66033/APP/2009/1060	51,098.24	51,098.24	51,098.24	0.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the authority's area to include new school facilities; improvements to school facilities to accommodate extra children (see agreement for further details). No time limits for spend. £51,098.24 spent towards expansion at Ruislip Gardens Primary School 2013/14 closing (Cabinet Member Approval 23/07/2014).
EYL/187/301	Northwood	37-45 Ducks Hill Rd, Northwood 59214/APP/2010/1766	130,618.06	130,618.06	130,618.06	0.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the authority's area to include new school facilities; improvements to school facilities to accommodate extra children (see agreement for further details). Funds to be spent within 5 years of receipt (July 2018). £130,618.06 spent towards expansion at Hillingdon Primary School 2013/14 closing (Cabinet Member Approval 27/07/2014).
EYL/191/305A	Northwood	London School of Theology, Green Lane, Northwood 10112/APP/2012/2057	39,018.58	39,018.58	39,018.58	0.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the authority's area to include new school facilities; improvements to school facilities to accommodate extra children (see agreement for further details). No time limits. £39,018.58 spent towards expansion at Hillingdon Primary School 2013/14 closing (Cabinet Member Approval 23/07/2014).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2015)
			AS AT 31/03/15	AS AT 31/12/14	AS AT 31/03/15	AS AT 31/12/14	To 31/03/15	AS AT 31/03/15	AS AT 31/03/15	
EYL/193/307	West Ruislip	3 South Drive, Ruislip 1305/APP/2012/211	6,000.00	6,000.00	6,000.00	0.00	6,000.00	0.00	0.00	Contribution received towards additional or improved educational facilities within a 3 mile radius of the site to accommodate the nursery, primary and secondary yield arising from the development. No time limits. Funds allocated and spent towards expansion at Glebe Primary School as part of the Primary Expansion Programme. (Cabinet Member Decision 19/03/2015).
EYL/194/308	Manor	69-77 Park Way, Ruislip 885/APP/2010/340	14,231.00	14,231.00	14,231.00	0.00	14,231.00	0.00	0.00	Contribution received towards additional or improved educational facilities within a 3 mile radius of the site to accommodate the nursery, primary and secondary yield arising from the development. No time limits. Funds allocated and spent towards expansion at Ruislip Gardens Primary School as part of the Primary Expansion Programme. (Cabinet Member Decision 19/03/2015).
EYL/196/310	Northwood	High Meadow, Farm Rd, Northwood 41596/APP/2013/310	12,796.00	12,796.00	12,796.00	0.00	12,796.00	0.00	0.00	Contribution received towards additional or improved educational facilities within a 3 mile radius of the site to accommodate the nursery, primary and secondary yield arising from the development. No time limits. Funds allocated and spent towards expansion at Harlyn Primary School as part of the Primary Expansion Programme. (Cabinet Member Decision 19/03/2015).
EYL/198/312	Ickenham	25 Highfield Drive, Ickenham 2275/APP/2013/633	7,886.00	7,886.00	7,886.00	0.00	7,886.00	0.00	0.00	Contribution received towards additional or improved educational facilities within a 3 mile radius of the site to accommodate the nursery, primary and secondary yield arising from the development. No time limits. Funds allocated and spent towards expansion at Harlyn Primary School as part of the Primary Expansion Programme. (Cabinet Member Decision 19/03/2015).
EYL/199/316	Northwood	41 Fritwood Ave, Northwood 1891/APP/2013/1655	12,796.00	12,796.00	12,796.00	0.00	12,796.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the authority's area to accommodate extra children (see agreement for further details). No time limits. Funds allocated and spent towards expansion at Harlyn Primary School as part of the Primary Expansion Programme. (Cabinet Member Decision 19/03/2015).
EYL/200/317	Northwood	24 Eastbury Rd, Northwood 19305/APP/2011/1584 & 19305/APP/2012/3107	20,158.00	20,158.00	20,158.00	0.00	20,158.00	0.00	0.00	Contribution received towards additional or improved educational facilities within a 3 mile radius of the site to accommodate the nursery, primary and secondary yield arising from the development. No time limits. Funds allocated and spent towards expansion at Harlyn Primary School as part of the Primary Expansion Programme. (Cabinet Member Decision 19/03/2015).
EYL/201/318	Townfield	212 Coldharbour Lane, Hayes 53690/APP/2012/648	37,625.00	37,625.00	37,625.00	0.00	37,625.00	0.00	0.00	Contribution received towards additional or improved educational facilities in vicinity of the site arising from the needs of the development. No time limits for spend. Funds allocated and spent towards expansion at Roseate Primary School as part of the Primary Expansion Programme. (Cabinet Member Decision 19/03/2015).
EYL/202/319A	Northwood Hills	117 Pinner Rd, Northwood 12055/APP/2006/2510	151,749.00	151,749.00	151,749.00	0.00	151,749.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details). No time limits for spend. Funds allocated and spent towards expansion at Harlyn Primary School as part of the Primary Expansion Programme. (Cabinet Member Decision 19/03/2015).
EYL/203/320	Northwood	15 Nicholas Way, Northwood 16824/APP/2012/3220	12,796.00	12,796.00	0.00	0.00	0.00	12,796.00	12,796.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details). Funds to be spent within 5 years of receipt. (Feb 2019).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE, NOT ALLOCATED	COMMENTS (as at mid May 2015)
			AS AT 31/03/15	AS AT 31/03/15	AS AT 31/03/15	AS AT 31/03/15	To 31/03/15	AS AT 31/03/15	AS AT 31/03/15	
EYL207/324	Ickenham	Land Adjacent to 135 Swakeleys Road, Ickenham 380/APP/2013/1450	8,628.00	8,628.00	8,628.00	8,628.00	0.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and internal leisure spaces (see agreement for details) No time limits for spend. Funds allocated and spent towards expansion at Glebe Primary School as part of the Primary Expansion Programme. (Cabinet Member decision 19/03/2015)
EYL206/323C	Cavendish	150 Field End Road (Initial House), Eastcote, Pinner 25760/APP/2013/3632	40,281.00	40,281.00	40,281.00	40,281.00	0.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and internal leisure spaces (see agreement for details) No time limits for spend. Funds allocated and spent towards expansion at Ruislip Gardens Primary School as part of the Primary Expansion Programme. (Cabinet Member Decision 19/03/2015)
EYL217/330	Harefield	Little Hammonds, Breakspear Rd North, Harefield	33,436.00	17,869.51	17,869.51	17,869.51	0.00	15,566.49	0.00	Fund received towards the provision of educational facilities within the London Borough of Hillingdon. No time limits for spend. Funds allocated towards expansion at Harefield Primary School as part of the Primary Expansion Programme (Cabinet Member Decision 19/03/2015).
EYL212/331A	Cavendish	216 Field End Road, Eastcote. 6331/APP/2010/2411	23,535.00	23,535.00	23,535.00	23,535.00	0.00	0.00	0.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details) No time limits for spend. Funds allocated and spent towards expansion at Ruislip Gardens Primary School as part of the Primary Expansion Programme. (Cabinet Member Decision 19/03/2015)
EYL216/335	West Ruislip	157-161 High Street, Ruislip 64711/APP/2011/214	2,176.00	0.00	0.00	0.00	2,176.00	2,176.00	2,176.00	Contribution received towards additional or improved educational facilities within a 3 mile radius of the site to accommodate the nursery, primary and secondary school child yield arising from the development. No time limits for spend.
EYL217/336	Northwood	Land Adj to 27 Lees Ave, Northwood 69195/APP/2013/1310	25,593.00	0.00	0.00	0.00	25,593.00	25,593.00	25,593.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details) No time limits for spend.
EYL218/337	Northwood	37 Moor Park Road, Northwood 45811/APP/2013/3765	12,796.00	0.00	0.00	0.00	12,796.00	12,796.00	12,796.00	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details) No time limits for spend.
EYL221/341	Northwood	Plumtree Cottage, 89 Ducks Hill Road, Northwood 4739554/APP/2014/3276	2,265.00	0.00	0.00	0.00	2,265.00	2,265.00	2,265.00	Contribution received towards additional or improved educational facilities within a 3 mile radius of the site to accommodate the nursery and primary yield arising from the development. No time limits.
EYL222/342	Northwood	London School of Theology, Green Lane, Northwood 10112/APP/2013/1837	29,834.07	0.00	0.00	0.00	29,834.07	29,834.07	29,834.07	Contribution received towards providing educational improvements or facilities in the Authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details) No time limits for spend.
EYL224/343	Harefield	Royal Quay, Coppermill Lock, Harefield 43159/APP/20131094	75,649.88	0.00	0.00	0.00	75,649.88	75,649.88	75,649.88	Funds received towards the costs of providing nursery, secondary and post 16 year old education or improvements or facilities in the authority's area to include new school facilities; improvements to existing school facilities to accommodate extra children; improvements and expansion of playground and external leisure spaces (see agreement for details). No time limit for spend.
		EDUCATION, YOUTH AND LEISURE SUB - TOTAL	5,555,947.60	4,050,255.88	3,159,274.06	891,981.82	1,505,691.72	1,490,125.92		

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2015)
			AS AT 31/03/15	AS AT 31/12/14	AS AT 31/03/15	To 31/03/15	AS AT 31/03/15	AS AT 31/03/15	
<b>PORTFOLIO: CENTRAL SERVICES</b>									
		<b>CENTRAL SERVICES SUB - TOTAL</b>	0.00	0.00	0.00	0.00	0.00	0.00	
<b>PORTFOLIO: COMMUNITY, COMMERCE AND REGENERATION</b>									
PPR/67/238D	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	20,679.21	0.00	0.00	0.00	20,679.21	0.00	Contribution towards construction training initiatives within the Borough. Funds to be spent within 7 years of receipt (February 2018). Funds allocated towards the services of a Construction Workplace Co-ordinator within the Borough (Cabinet Member Decision 19/3/13).
PPR/68/239C	Eastcote	Highgrove House, Eastcote Road, Ruislip. 10622/APP/2006/2294 & 10622/APP/2009/2504	9,667.50	0.00	0.00	0.00	9,667.50	0.00	Contribution received towards construction training and the provision of a work place co-ordinator within the Borough. No time limits. Funds allocated towards the services of a Construction Workplace Co-ordinator within the Borough (Cabinet Member Decision 19/3/13).
PPR/62/231C	Ruislip	Former RAF West Ruislip (Ickenham Park), High Road, Ickenham. 38402/APP/2007/1072	75,000.00	0.00	0.00	0.00	75,000.00	75,000.00	Funds received towards the installation of 3 CCTV cameras and associated infrastructure within the vicinity of the development. Funds to be spent within 5 years of receipt (Nov 2015). Funds transferred from PT/11/18/231C.
PPR/65/263C	South Ruislip	Former South Ruislip Library, Victoria Road, Ruislip (plot A). 67080/APP/2010/1419	9,782.64	0.00	0.00	0.00	9,782.64	0.00	Funds received towards the provision of construction training courses delivered by recognised providers and the provision of a construction work placement coordinator within Hillingdon. No time limits. Funds allocated towards the services of a Construction Workplace Co-ordinator within the Borough (Cabinet Member Decision 19/3/13).
PPR/76/282C	West Ruislip	Lyon Court 28-30 Pembroke Road, Ruislip. 66895/APP/2011/3049	47,950.86	0.00	0.00	0.00	47,950.86	47,950.86	Contribution to be used towards construction training courses delivered by recognised providers and the provision of a work place co-ordinator within the authority's area. Funds to be spent within 5 years of completion of the development (estimated to be 2019).
PPR/77/282D	West Ruislip	Lyon Court, 28-30 Pembroke Road, Ruislip. 66895/APP/2011/3049	25,330.03	0.00	0.00	0.00	25,330.03	25,330.03	Contribution received towards the provision of CCTV, lighting, safety improvements to public transport facilities and car parks or safer town centres (see agreement for details). Funds to be spent within 5 years of completion of the development (estimated to be 2019).
PPR/79/298E	Cavendish	161 Elliot Ave (fmr Southbourne Day Centre), Ruislip. 66033/APP/2009/1060	16,353.04	0.00	0.00	0.00	16,353.04	16,353.04	Contribution received towards construction training courses delivered by recognised providers and the provision of a construction work place co-ordinator for Hillingdon Residents. No time limits for spend.
PPR/82/301B	Northwood	37-45 Ducks Hill Rd, Northwood 59214/APP/2010/1766	22,192.63	0.00	0.00	0.00	22,192.63	22,192.63	Contribution received towards public realm improvements in the vicinity of the development including CCTV, footpath safety, safer town centres, public transport interchange facilities in the locality of the site (see agreement for details). Funds to be spent within 5 years of receipt (July 2018).
PPR/83/301D	Northwood	37-45 Ducks Hill Rd, Northwood 59214/APP/2010/1766	19,669.95	0.00	0.00	0.00	19,669.95	19,669.95	Contribution received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator serving the locality of the development. Funds to be spent within 5 years of receipt (July 2018).
PPR/90/331B	Cavendish	216 Field End Road, Eastcote. 63311/APP/2010/2411	5,000.00	0.00	0.00	0.00	5,000.00	5,000.00	Contribution received towards the costs of providing construction training schemes within the London Borough of Hillingdon. No time limit for spend.
PPR/91/331C	Cavendish	216 Field End Road, Eastcote. 63311/APP/2010/2411	10,000.00	0.00	0.00	0.00	10,000.00	10,000.00	Contribution to be used by the Council towards community facilities in the Authority's area. No time limit for spend.
PPR/95/343B	Harefield	Royal Quay, Coppermill Lock, Harefield. 43159/APP/2013/1094	17,700.00	0.00	0.00	0.00	17,700.00	17,700.00	Contribution received towards the cost of providing construction training courses delivered by recognised providers and/or the provision of a construction work place co-ordinator serving the locality of the development. No time limits.
		<b>COMMUNITY, COMMERCE &amp; REGENERATION SUB - TOTAL</b>	279,325.86	0.00	0.00	0.00	279,325.86	239,196.51	
<b>PORTFOLIO: COMMUNITY, COMMERCE AND REGENERATION</b>									

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL INCOME	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2015)
			AS AT 31/03/15	AS AT 31/03/15	AS AT 31/12/14	AS AT 31/03/15	To 31/03/15	AS AT 31/03/15	AS AT 31/03/15	
CSL/6/189A	Ruislip	30 Kings End, Ruislip. 46299/APP/2006/2165	7,674.48	0.00	7,674.48	0.00	0.00	7,674.48	0.00	Towards the provision of community facilities in the immediate vicinity of the land. No time limits. Earmarked towards Manor Farm Library. Subject to formal allocation of funding.
CSL/9/199A	Ruislip	41, Kingsend, Ruislip. 2792/APP/2006/3451	9,338.43	0.00	9,338.43	0.00	0.00	9,338.43	0.00	Funds received towards the provision of community facilities in the Borough. No time constraints. Earmarked towards Manor Farm Library. Subject to formal allocation of funding.
CSL/10/200B	Manor	Former Ruislip Manor Library, Victoria Road, Ruislip. 14539/APP/2008/2102	5,200.00	0.00	5,200.00	0.00	0.00	5,200.00	0.00	Funds received towards improvements to nearby community facilities. Earmarked towards Ruislip Manor Library and Community Resources Centre. Subject to formal allocation of funding.
CSL/11/205B	Eastcote	RAF Eastcote, Lime Grove, Ruislip. 10189/APP/2004/1781	277,131.54	276,881.40	277,131.54	276,881.40	12,746.60	250.14	0.00	Contribution towards the provision or improvement of leisure, youth and/or cultural services within Eastcote and East Ruislip ward boundary. Funds to be spent by September 2014. £265k from this contribution has been allocated towards Highgrove pool improvement programme (Cabinet Member approval received 1/09/2011). Scheme completed 2013. Remaining balance allocated towards the upgrade of the Music studio at Ruislip Youth Centre (Cabinet Member Decision 09/07/2014).
CSL/12/215A	Ruislip	5 - 11, Reservoir Road, Ruislip 61134/APP/2006/280	13,338.00	0.00	13,338.00	0.00	0.00	13,338.00	13,338.00	Contribution received towards the provision of community facilities in the locality. No time limits on spend. Earmarked towards the provision of a new community facility at the former RAF Eastcote, Lime Grove. Subject to formal allocation.
CSL/15/231D	Ruislip	Former RAF Ruislip (Ickenham Park), High Road, Ickenham 38402/APP/2007/1072	269,750.00	0.00	269,750.00	0.00	0.00	269,750.00	0.00	Funds received towards the construction of a new facility or the extension of an existing facility to provide for improvement of leisure, elderly, youth and/or cultural services within the locality of the land. Funds to be spent by November 2015. Funds earmarked towards improvements to the Compass Theatre, subject to an eligible scheme and formal allocation.
CSL/17/238A	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	31,645.25	0.00	31,645.25	0.00	0.00	31,645.25	31,645.25	Funds received as 50% of the community facilities contribution towards community facilities, schemes or measures within the Borough. Funds to be spent by February 2018. Further £16,135.84 received as remaining 50% of community facilities contribution. Funds earmarked towards the provision of a new community facility at the former RAF Eastcote, Lime Grove. Subject to formal allocation.
CSL/18/238B	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	3,268.46	0.00	3,268.46	0.00	0.00	3,268.46	3,268.46	Funds received towards the provision of library facilities and/or library books within the Borough. Funds to be spent by February 2018.
CSL/19/237A	Eastcote	Bishop Ramsey School (lower site), Eastcote Road, Ruislip 19731/APP/2008/1442	24,130.14	24,130.14	24,130.14	24,130.14	24,130.14	0.00	0.00	Funds received towards environmental improvements and community facilities within a 3 mile radius of the site. Funds to be spent by February 2016. Funds allocated towards the restoration of Eastcote House Gardens for community use (Cabinet Member Decision 14/11/2014). <b>Scheme in progress, new facilities due to be completed, summer 2015.</b>
CSL/22/241B	Ruislip	28 & 29a Kingsend, Ruislip. 5740/APP/2008/1214	3,250.00	0.00	3,250.00	0.00	0.00	3,250.00	3,250.00	Funds received towards the expansion of local community facilities in the area of the development. Funds to be spent within 5 years of receipt (April 2016).
CSL/23/243A	South Ruislip	Former Tally Ho P.H., West End Road, Ruislip. 8418/APP/2006/9138/914	14,300.00	14,300.00	14,300.00	14,300.00	14,300.00	0.00	0.00	Contribution received towards the cost of providing community facilities in the vicinity of the development. Funds to be spent within 7 years of receipt (June 2018). Funds spent as part of end of year financing towards South Ruislip Library redevelopment scheme to provide a new improved library. Spend subject to formal approval.
CSL/29/263A	South Ruislip	Former South Ruislip Library, Victoria Road, Ruislip (plot A), 67080/APP/2010/1419	356.03	0.00	356.03	0.00	0.00	356.03	356.03	Contribution received towards the provision of or improvement to library facilities and/or library books in Hillingdon. No time limits.
CSL/35/282E	West Ruislip	Lyon Court, 28-30 Pembroke Road, Ruislip. 66895/APP/2011/3049	2,263.48	0.00	2,263.48	0.00	0.00	2,263.48	2,263.48	Contribution received towards the provision of library facilities and/or library books within the authority's area. Funds to be spent within 5 years of completion of the development (estimated to be 2019).
CSL/36/299B	Cavendish	161 Elliot Ave (fmr Southbourne Day Centre), Ruislip. 66033/APP/2009/1060	955.56	0.00	955.56	0.00	0.00	955.56	955.56	Contribution towards the provision of or improvement to library facilities and/or library books within the Authority's area. No time limits for spend.



CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2015)
			AS AT 31/03/15	AS AT 31/03/15	AS AT 31/03/15	To 31/03/15	AS AT 31/03/15	AS AT 31/03/15	
CSL/37/299C	Cavendish	161 Elliot Ave (fmr Southbourne Day Centre), Ruislip. 66033/APP/2009/1060	11,028.96	11,028.95	11,028.95	11,028.95	0.00	0.00	Contribution received towards the provision or improvement of community facilities within the Authority's area. No time limit for spend. Funds spent as part of end of year financing towards a scheme to provide an extension to Eastcote Bowls Club. Spend subject to formal approval.
CSL/38/301C	Northwood	37-45 Ducks Hill Rd, Northwood 59214/APP/2010/1766	1,375.61	0.00	0.00	0.00	1,375.61	1,375.61	Contribution received towards the provision of library facilities and/or library books serving the locality of the development. Funds to be spent within 3 year of receipt (July 2018).
CSL/43/313	South Ruislip	Queenswalk Resource Centre, Queens Walk, Ruislip 12059/APP/2012/2570	10,000.00	0.00	0.00	0.00	10,000.00	0.00	Funds received as a contribution towards sports and leisure facilities at Deansfield Primary School. Funds to be used towards sports items such as goal posts, rounders equipment training kit and other sporting equipment (see agreement for details). No time limit for spend.
CSL/45/319B	Northwood Hills	117 Pinner Rd, Northwood 12055/APP/2006/2510	2,560.63	0.00	0.00	0.00	2,560.63	2,560.63	Contribution received towards the provision of or improvement to library facilities and/or library books in Hillingdon. No time limits.
CSL/47/323D	Cavendish	150 Field End Road (Initial House), Eastcote, Pinner 25760/APP/2013/3632	20,000.00	20,000.00	20,000.00	20,000.00	0.00	0.00	Contribution received towards the costs of provision or improvements to community facilities within the Authority's area. No time limits. Allocated towards the restoration of Eastcote House Gardens to provide a community facility (Cabinet Member Decision 14/11/2014). Scheme in progress, due to be completed summer 2015.
CSL/48/323E	Cavendish	150 Field End Road (Initial House), Eastcote, Pinner 25760/APP/2013/3632	1,500.73	0.00	0.00	0.00	1,500.73	1,500.73	Contribution received towards the provision of or improvements to library facilities and/or books within the Authority's Area. No time limits.
CSL/51/331D	Cavendish	216 Field End Road, Eastcote 6331/APP/2010/2411	458.62	0.00	0.00	0.00	458.62	458.62	Contribution to be used by the Council towards the provision of or improvement to library facilities and/or library books within the Authority's area. No time limits for spend.
CSL/54/343C	Harefield	Royal Quay, Coppermill Lock, Harefield 43159/APP/2013/1094	1,846.79	0.00	0.00	0.00	1,846.79	1,846.79	Contribution to be used by the Council towards the provision of or improvement to library facilities and/or library books within the Authority's area. No time limits for spend.
		COMMUNITY, COMMERCE AND REGENERATION SUB - TOTAL	711,392.70	709,545.91	276,881.40	82,205.59	365,052.21	62,839.16	
		COMMUNITY, COMMERCE AND REGENERATION -TOTAL	990,718.56	971,171.77	276,881.40	82,205.59	644,378.07	302,035.67	
<b>PORTFOLIO: FINANCE PROPERTY &amp; BUSINESS SERVICES</b>									
E/47/177B	Manor	41-55, Windmill Hill, Ruislip planning ref.48283/APP/2006/2353	38,258.39	32,124.97	32,124.97	0.00	6,133.42	0.00	Funds received towards open green space and recreational open space within a 3 mile radius of the land. This sum includes approximately £8k for bins and benches and £30k for children's play space. Funds not spent within 5 years of receipt (24 December 2012) are to be refunded. Officers currently drawing up a programme of works for Warrender Park. Funds allocated towards a scheme of improvements at Warrender Park. (Cabinet Member Decision 3/9/2010). Works complete Dec 12. Accounting adjustment made, scheme to be shared.
E/57/205D	Eastcote	RAF Eastcote, Lime Grove, Ruislip. 10189/APP/2004/1781	118,803.95	118,803.95	114,264.86	118,803.95	0.00	0.00	Contribution received towards the provision or improvement of outdoor sports and/or pitch facilities within a 3000m radius of the land. Funds to be spent by September 2014. Funds allocated towards provision of a multi use games area at Warrender Park and out door gym at Kings College Playing fields (Cabinet Member Decision 01/08/2014). Schemes complete August 2014. All invoices paid.
E/60/215C	Ruislip	5 - 11 Reservoir Road, Ruislip. 61134/APP/2006/260	28,994.76	28,994.76	28,994.76	1,757.26	0.00	0.00	Contribution received towards open space/recreation improvements or other green spaces in the locality. Funds allocated towards improving playground facilities at Ruislip Lido, Cabinet Member Decision (31/10/13). No time limits on spend. Play equipment completed March 2014. Benches installed. Scheme closed.
E/61/217B	Harefield	34 High Street, Harefield. 259/APP/2009/2391	7,000.00	7,000.00	7,000.00	7,000.00	0.00	0.00	Funds received towards additional or improved recreation/open space facilities within a 3 mile radius of the site. No time limit. Funds allocated towards improvements to playground on Harefield Green (Cabinet Member Decision 24/01/2014).

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2015)
			AS AT 31/03/15	AS AT 31/12/14	AS AT 31/03/15	AS AT 31/12/14	To 31/03/15	AS AT 31/03/15	AS AT 31/03/15	
E/62/231E	Ruislip	Former RAF Ruislip (Ickenham park), High Road, Ickenham. 38402/APP/2007/1072	146,879.75	146,879.75	30,383.12	30,383.12	15,191.56	116,496.63	0.00	Funds received as a committed sum towards the maintenance of the playing fields as part of the scheme for a period of 10 years. Spend subject to conditions as stipulated in the legal agreement. £44,063 allocated towards the annual cost of maintaining the playing fields provided at Ickenham Park development (Cabinet Member Decision 7/11/2012). £15,191.56 Spend towards maintenance costs 2012/13. Maintenance costs claimed 2014/15.
E/65/237C	Eastcote	Bishop Ramsey School (lower site), Eastcote Road, Ruislip. 19731/APP/2006/1442	80,431.31	80,431.31	0.00	0.00	0.00	80,431.31	0.00	Funds received towards the off site provision of formal recreational open space in the vicinity of the site. Funds to be spent by February 2016. Earmarked towards improvements at Churchfield Gardens.
E/66/238D	Eastcote	Highgrove House, Eastcote Road, Ruislip. 10622/APP/2006/2294 & 10622/APP/2009/2504	10,000.00	10,000.00	6,678.17	6,678.17	0.00	3,321.83	0.00	Contribution received towards the cost of enhancement and/or nature conservation works at Highgrove Woods. No time limits. Funds allocated towards conservation works at Highgrove Woods Nature Reserve (Cabinet Member Decision 16/3/12). Works on going.
E/70/243C	South Ruislip	Fmr Tally Ho PH, West End Road, Ruislip. 8418/APP/2006/913&914	28,967.00	28,967.00	28,967.00	28,967.00	0.00	0.00	0.00	Contribution received towards open space and recreational open space in the vicinity of the development. Funds spent within 7 years of receipt (June 2018). Funds spent towards Chrysalis scheme to upgrade footpath at Coronation walk (2013/14 closing ). Cabinet Member approval received 17/10/2014).
E/71/250	South Ruislip	Land adjacent to Downe Barns Farm, West End Road, West End Road, Northolt. 2292/APP/2006/2475	30,000.00	30,000.00	15,000.00	10,000.00	5,000.00	15,000.00	15,000.00	Funds received as maintenance instalments to assist with the management of Ten Acres Wood Nature Reserve including, staffing, tree & river Maintenance and volunteers' tools & equipment. Funds to be spent within 11 years of receipt (August 2021). £15,000 allocated towards ongoing management works at the reserve (Cabinet Member Decision 7/11/2012). Spend towards stock fencing and ditch restoration at the reserve. <b>£5,000 spent towards access improvements at the reserve.</b>
E/78/282A	West Ruislip	Lyon Court, 28-30 Pembroke Road, Ruislip. 66895/APP/2011/3049	10,000.00	10,000.00	9,451.62	9,451.62	2,711.62	548.38	0.00	Contribution received as the first instalment towards the cost of providing a scheme to protect and enhance the off site nature conservation interest in the locality of the site. Estimated time limit for spend 2019 (see agreement for details). Funds allocated towards ecological improvements at Pinn Meadows (Cabinet Member Decision 3/17/015).
E/86/305B	Northwood	London School of Theology, Green Lane, Northwood 10112/APP/2012/2057	30,609.90	30,609.90	0.00	0.00	0.00	30,609.90	0.00	Contribution received towards the provision of tennis courts within Northwood Recreation Ground. No time limits.
E/91/323B	Cavendish	150 Field End Road (initial House), Eastcote, Pinner 25760/APP/2013/3632	55,000.00	55,000.00	0.00	0.00	0.00	55,000.00	55,000.00	Funds received towards the costs of improvements to public open space in the Authority's Area. No time limits for spend.
		<b>FINANCE PROPERTY &amp; BUSINESS SERVICES SUB-TOTAL</b>	<b>584,945.06</b>	<b>584,945.06</b>	<b>277,403.59</b>	<b>267,864.52</b>	<b>150,464.39</b>	<b>307,541.47</b>	<b>70,000.00</b>	
<b>PORTFOLIO: SOCIAL SERVICES, HEALTH AND HOUSING</b>										
H/9/184C *55	West Ruislip	31-46, Pembroke Rd, Ruislip 59816/APP/2006/2896	21,699.53	21,699.53	8,584.43	8,584.43	0.00	13,115.10	0.00	Contribution received towards primary health care facilities within a 3 mile radius of the development. Funds not spent by July 2015 must be returned to the developer. £8,584 allocated towards improvements at King Edwards Medical Centre, Ruislip (Cabinet Member Decision 6/12/2013). Funds transferred to NHS Property Services (Feb 2014). <b>Remaining balance earmarked towards capacity improvements at Uxbridge Health Centre, subject to formal approval.</b>
H/11/195B *57	Ruislip	Highgrove House, Eastcote Road, Ruislip. 10622/APP/2006/2494	3,156.00	3,156.00	0.00	0.00	0.00	3,156.00	0.00	Funds received towards the provision of local health care facilities in the vicinity of the site. No time limits.
H/20/238F *72	West Ruislip	Former Mill Works, Bury Street, Ruislip. 6157/APP/2009/2069	31,441.99	31,441.99	0.00	0.00	0.00	31,441.99	0.00	£15,409 received as 50% of the health contribution towards providing health facilities in the Borough (see legal agreement for further details). First instalment to be spent by February 2018. £16,032 received as remaining 50% health contribution. Funds to be spent by June 2018.
H/21/237D *73	Eastcote	Bishop Ramsey School (lower site), Eastcote Road, Ruislip. 19731/APP/2006/1442	22,455.88	22,455.88	0.00	0.00	0.00	22,455.88	0.00	Funds received towards the provision of primary health care facilities in the Uxbridge area. Funds to be spent by February 2016.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2015)
			AS AT 31/03/15	AS AT 31/12/14	AS AT 31/03/15	AS AT 31/12/14	To 31/03/15	AS AT 31/03/15	AS AT 31/03/15	
H/22/239E *74	Eastcote	Highgrove House, Escote Road, Ruislip. 10622/APP/2006/2494 & 10622/APP/2009/2854	7,363.00	7,363.00	0.00	0.00	0.00	7,363.00	0.00	Funds received towards the cost of providing health facilities in the Borough (see legal agreement for further details). No time limits.
H/24/184A	West Ruislip	31-46 Pembroke Road, Ruislip 59816/APP/2006/2896	49,601.53	49,601.53	0.00	0.00	0.00	49,601.53	0.00	Funds have been earmarked towards the dining centre for Northwood and Ruislip elderly persons association (Elm Park). Funds not spent by 10/7/2015 to be returned. Funds transferred to Social Services, Health & Housing Portfolio from CSL/5184A. Contribution allocated towards improvements at the Elm Park Dining Centre. (Cabinet Member Decision 19/03/2015). Scheme on site April 2015.
H/26/263D *81	South Ruislip	Former South Ruislip Library, Victoria Road, Ruislip (plot A). 67080/APP/2010/1419	3,353.86	3,353.86	0.00	0.00	0.00	3,353.86	0.00	Funds received towards the cost of providing health facilities in the Authority's area including the expansion of health premises to provide additional facilities, new health premises or services (see legal agreement for details). No time limit for spend.
H/34/282F *92	West Ruislip	Fmr Lyon Court, 28-30 Pembroke Road, Ruislip. 66885/APP/2011/3049	15,031.25	15,031.25	0.00	0.00	0.00	15,031.25	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Funds to be spent within 5 years of completion of the development. Estimated to be 2013/14.
H/35/282G	West Ruislip	Fmr Lyon Court, 28-30 Pembroke Road, Ruislip. 66885/APP/2011/3049	40,528.05	40,528.05	0.00	0.00	0.00	40,528.05	0.00	Funds received as the affordable housing contribution to be used by the Council to provide subsidised housing through a registered social landlord to persons who can't afford to rent or buy houses generally available on the open market. Funds to be spent within 5 years of completion of the development. Estimated to be 2019.
H/36/299D *94	Cavendish	161 Elliot Ave (fmr Southbourne Day Centre), Ruislip. 66033/APP/2009/1060	9,001.79	9,001.79	0.00	0.00	0.00	9,001.79	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits for spend.
H/37/301E *95	Northwood	37-45 Ducks Hill Rd, Northwood 58214/APP/2010/1766	12,958.84	12,958.84	0.00	0.00	0.00	12,958.84	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. Funds to be spent within 5 years of receipt (July 2018).
H/43/319C	Northwood Hills	117 Pinner Road, Northwood 12055/APP/2006/2510	221,357.83	221,357.83	0.00	0.00	0.00	221,357.83	221,357.83	Contribution to be used towards the cost of providing affordable housing in the Authority's area. No time limits for spend.
H/44/319D *103	Northwood Hills	117 Pinner Road, Northwood 12055/APP/2006/2510	24,312.54	24,312.54	0.00	0.00	0.00	24,312.54	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits.
H/45/323F	Cavendish	150 Field End Road (Initial House), Eastcote, Pinner 25760/APP/2013/3632	86,000.00	86,000.00	0.00	0.00	0.00	86,000.00	86,000.00	Contribution received towards subsidised housing available through a Registered Provider to persons who cannot afford to rent or buy houses generally available on the open market. No time limit for spend.
H/46/323G *104	Cavendish	150 Field End Road (Initial House), Eastcote, Pinner 25760/APP/2013/3632	14,126.88	14,126.88	0.00	0.00	0.00	14,126.88	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits.
H/48/331E *107	Cavendish	216 Field End Road, Eastcote 6331/APP/2010/2411	4,320.40	4,320.40	0.00	0.00	0.00	4,320.40	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits.

CASE REF.	WARD	SCHEME / PLANNING REFERENCE	TOTAL INCOME	TOTAL INCOME	TOTAL EXPENDITURE	TOTAL EXPENDITURE	2014 / 2015 EXPENDITURE	BALANCE OF FUNDS	BALANCE SPENDABLE NOT ALLOCATED	COMMENTS (as at mid May 2015)
			AS AT 31/03/15	AS AT 31/12/14	AS AT 31/03/15	AS AT 31/12/14	To 31/03/15	AS AT 31/03/15	AS AT 31/03/15	
H/51/231H *110	Ruislip	Fmr RAF West Ruislip (Ickenham Park), High Road, Ickenham 38402/APP/2013/2685 & 38402/APP/2012/1033	17,374.27	17,374.27	0.00	0.00	0.00	17,374.27	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
H/52/205G	Eastcote	Former RAF Eastcote (Pembroke Park), Lime Grove, Ruislip 10169/APP/2014/3354 & 3359/3358 & 3360	298,998.00	298,998.00	0.00	0.00	0.00	298,998.00	298,998.00	Funds received as the affordable housing contribution to be used by the Council to provide subsidized housing through a registered social landlord to persons who can't afford to rent or buy houses generally available on the open market. No time limit for spend.
H/54/343D *112	Harefield	Royal Quay, Coppermill Lock, Harefield 43159/APP/2013/1094	8,698.77	0.00	0.00	0.00	0.00	8,698.77	0.00	Funds received towards the cost of providing health facilities in the Authority's area including expansion of health premises to meet increased patient numbers, new health services at local level, any new facilities required to compensate for the loss of a health facility caused by the development. No time limits
		<b>SOCIAL SERVICES HEALTH &amp; HOUSING SUB-TOTAL</b>	<b>891,780.41</b>	<b>883,081.64</b>	<b>8,584.43</b>	<b>8,584.43</b>	<b>0.00</b>	<b>883,195.98</b>	<b>646,883.88</b>	
		<b>SECTION 106 SUB - TOTAL</b>	<b>8,200,873.78</b>	<b>8,064,679.27</b>	<b>4,713,926.14</b>	<b>3,739,723.56</b>	<b>1,127,874.50</b>	<b>3,486,747.84</b>	<b>2,563,648.97</b>	
		<b>GRAND TOTAL ALL SCHEMES</b>	<b>8,346,246.88</b>	<b>8,210,252.37</b>	<b>4,800,583.05</b>	<b>3,826,380.47</b>	<b>1,128,182.13</b>	<b>3,545,663.83</b>	<b>2,563,648.97</b>	
<b>NOTES</b>										
The balance of funds remaining must be spent on works as set out in each individual agreement.										
Bold and strike-through text indicates key changes since the Cabinet report for the previous quarter's figures.										
Income figures for schemes within shaded cells indicate where funds are held in interest bearing accounts.										
* Denotes funds the Council is unable to spend currently (total £282,135.65)										
*24: PT125	£37,425.09 'reasonable period' for expenditure without owner's agreement has lapsed									
*32: PT278/46	£5,000.00 is to be held as a returnable security deposit for the highway works (to be later refunded).									
*48: PT278/63	£5,000.00 is to be held as a returnable security deposit for the highway works (to be later refunded).									
*55: H/8/184C	£13,115.10 funds have been received to provide Primary Health Care facilities in the borough.									
*57: H/11/195B	£3,156.00 funds have been received to provide health care services in the borough.									
*62: PT127/87/187	£23,000.00 held as security for the due and proper execution of the works.									
*73: H/20/038F	£31,441.99 funds have been received to provide Health Care services in the borough.									
*73: H/21/237D	£22,455.88 funds have been received to provide Primary Health Care facilities in the borough.									
*74: H/22/29E	£7,363.00 funds have been received to provide Health Care services in the borough.									
*76: PT278/62/38G	£5,000.00 is to be held as a returnable security deposit for the highway works (to be later refunded).									
*81: H/28/263D	£3,353.86 funds have been received to provide Health Care services in the borough.									
*92: H/34/283F	£15,031.25 funds have been received to provide health care facilities in the borough.									
*94: H/35/299D	£9,001.79 funds received to provide health care facilities in the borough.									
*95: H/37/301E	£12,958.84 funds received to provide health care facilities in the borough.									
*103: H/44/319D	£24,312.54 funds received to provide health care facilities in the borough.									
*104: H/46/323G	£14,126.88 funds received to provide health care facilities in the borough.									
*105: PT148/327	£20,000.00 funds to be held as a returnable deposit for the implementation of the travel plan (later to be refunded)									
*107: H/48/331E	£4,320.40 funds received to provide health care facilities in the borough.									
*110: H/51/231H	£17,374.27 funds received to provide health care facilities in the borough.									
*112: H/54/343D	£8,698.77 funds received to provide health care facilities in the borough.									
			<b>£282,135.65</b>							

By virtue of paragraph(s) 2, 6 of Part 1 of Schedule 12A  
of the Local Government (Access to Information) Act 1985 as amended.

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By virtue of paragraph(s) 2, 6 of Part 1 of Schedule 12A  
of the Local Government (Access to Information) Act 1985 as amended.

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# Plans for North Applications Planning Committee

16th July 2015



HILLINGDON  
LONDON



INVESTOR IN PEOPLE

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**Report of the Head of Planning, Sport and Green Spaces**

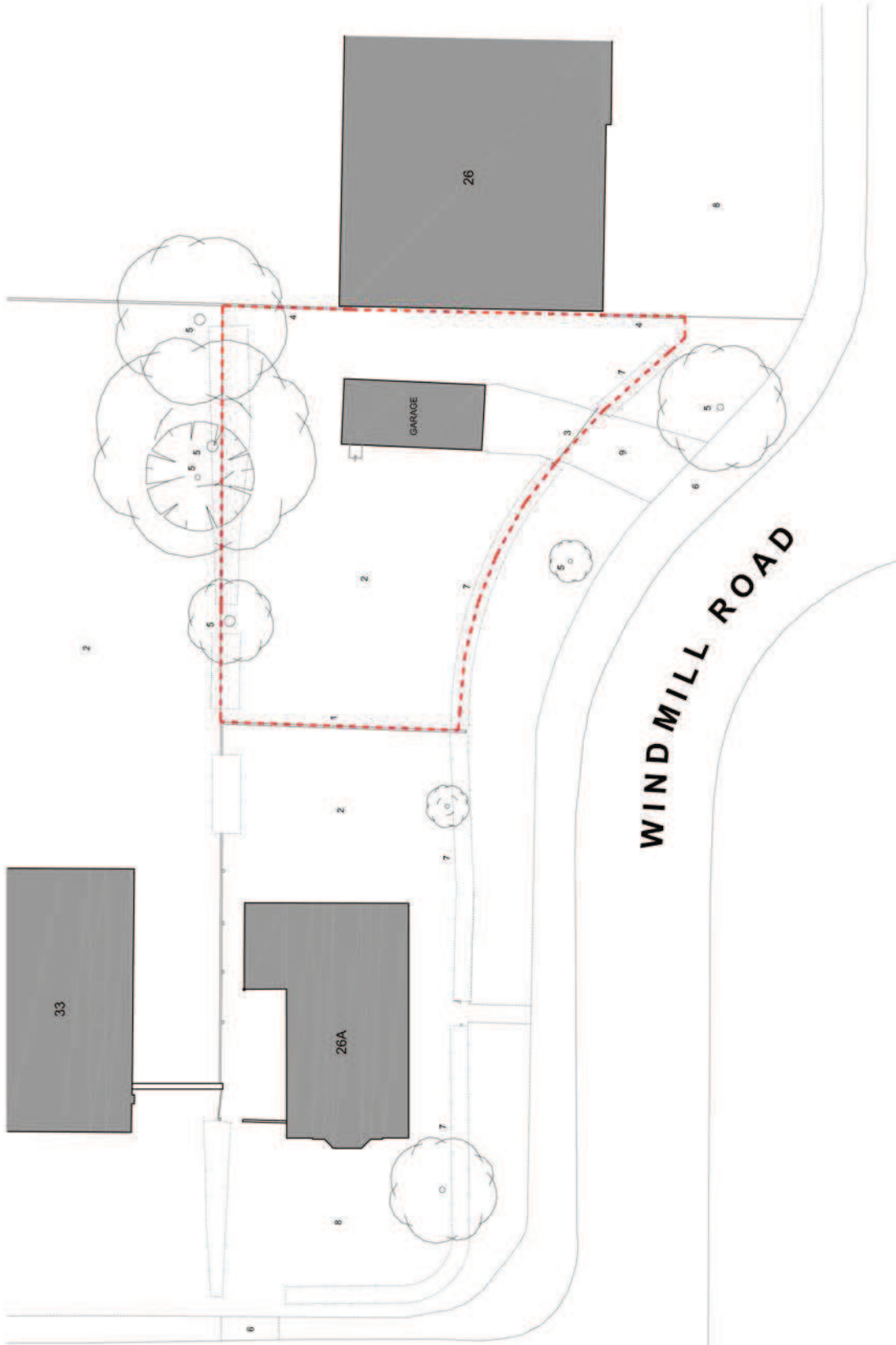
**Address** LAND FORMING PART OF 26A WINDMILL HILL RUISLIP  
**Development:** Single storey, 2-bed detached dwelling with habitable roofspace, associated parking and amenity space involving demolition of existing detached garage  
**LBH Ref Nos:** 67242/APP/2015/188

<b>Date Plans Received:</b>	19/01/2015	<b>Date(s) of Amendment(s):</b>	19/01/0015
<b>Date Application Valid:</b>	02/02/2015		19/01/2015 30/01/0015

**Notes**

This drawing to be read in conjunction with all relevant Consultation information, drawings and specifications.  
 All dimensions are in mm unless otherwise stated. All levels are finished floor levels unless otherwise stated.  
 Any discrepancies between drawing, schedules or specifications are to be reported to the Consultant immediately in writing and subject to a site visit.  
 Do not scale! All dimensions to be checked on site.  
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Rev	Date	Revision



- 1 FENCE 2.2M HIGH
- 2 GARDEN SPACE
- 3 GATE
- 4 FENCE 1.8M HIGH
- 5 TREE
- 6 DROPPED KERB CROSSOVER
- 7 HEDGE 2.2M HIGH
- 8 PARKING FORECOURT
- 9 DRIVEWAY



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**Project**  
 26A Windmill Hill, Ruislip, HA4 8QE

**Drawing Title**  
 Existing Site Plan

**Drawn By**  
 LP

**Scale**  
 1:200 @ A3

**Project No**  
 14-021

**Drawing Status**  
 Planning

**Date**  
 Oct 2014

**Drawing No**  
 14-021-E02

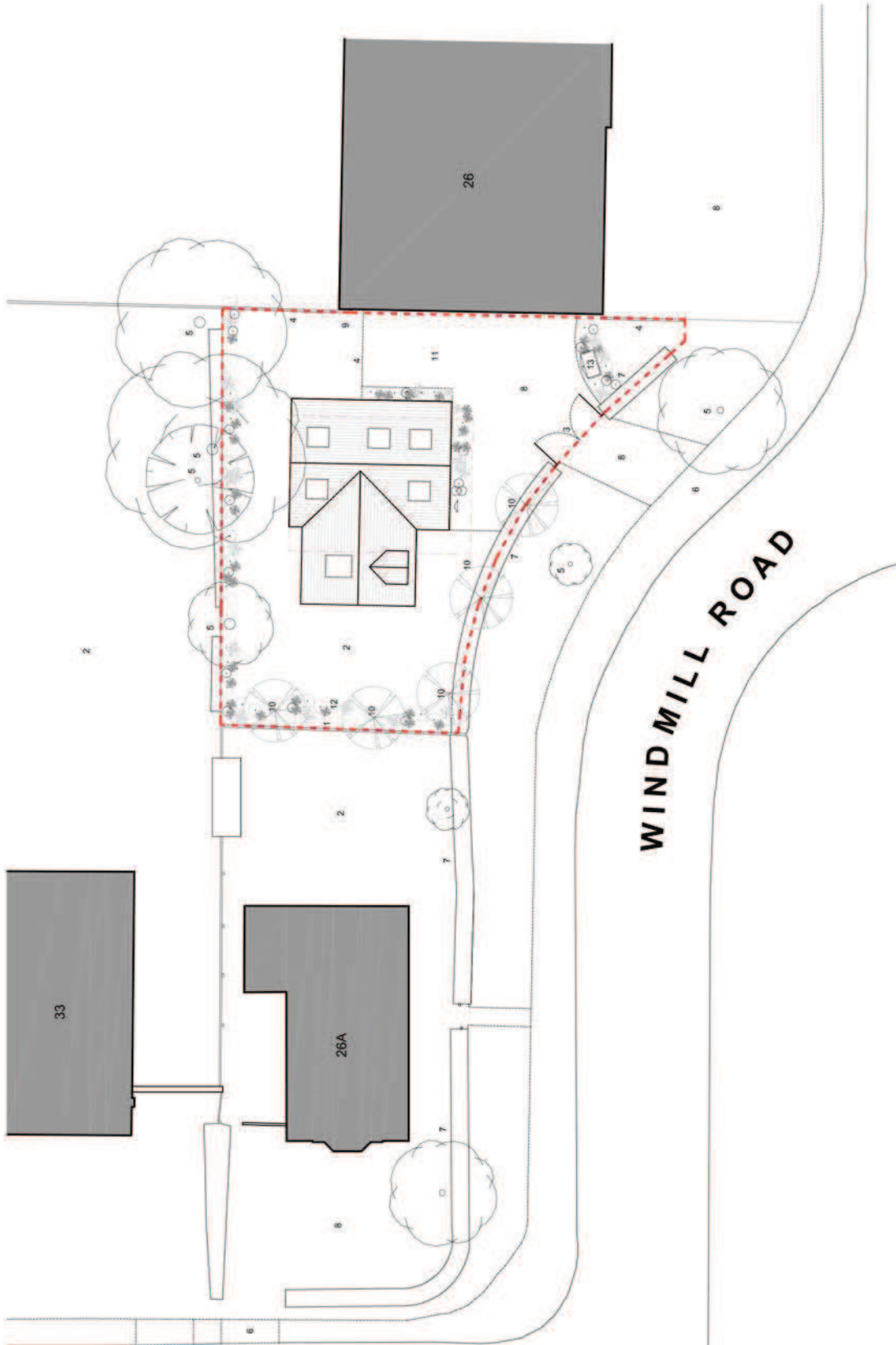
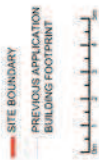
**Revision**  
 -

**Notes**

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Rev	Date	Revision

- 1 FENCE 2.2M HIGH
- 2 GARDEN SPACE
- 3 TIMBER GATES
- 4 FENCE 1.1M HIGH
- 5 TREE RETAINED
- 6 DROPPED KERB CROSSOVER
- 7 HEDGE 2.2M HIGH
- 8 PARKING FORECOURT
- 9 CYCLE PROVISION
- 10 NEW TREES
- 11 CAR SPACE
- 12 PLANTING BED
- 13 REFUSE/RECYCLING STORE



**WINDMILL ROAD**

**WEST MANOR HATCH**

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**Project**

26A Windmill Hill, Ruislip, HA4 8QE

**Drawing Title** Proposed Site Plan  
**Drawn By** LP

**Scale** 1:200 @ A3  
**Project No** 14-021

**Drawing Status** Planning  
**Date** Oct 2014

**Drawing No** 14-021-P02  
**Revision** -

**Notes**

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Rev	Date	Revision



— SITE BOUNDARY

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studio@redandwhitedesign.co.uk  
www.redandwhitedesign.co.uk  
+44 (0)7769 907331

**Project**

26A Windmill Hill, Ruislip, HA4 8QE

Drawing Title	Drawn By
Existing OS Plan	LP

Scale	Project No
1:500 @ A3	14-021

Drawing Status	Date
Planning	Oct 2014

Drawing No	Revision
14-021-E01	-



**Notes**

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Rev	Date	Revision



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www.redandwhitedesign.co.uk  
+44 (0)7769 907331

**Project**

26A Windmill Hill, Ruislip, HA4 8QE

**Drawing Title**  
Proposed OS Plan LP

**Drawn By**  
LP

**Scale**  
1:500 @ A3

**Project No**  
14-021

**Drawing Status**  
Planning

**Date**  
Oct 2014

**Drawing No**  
14-021-P01

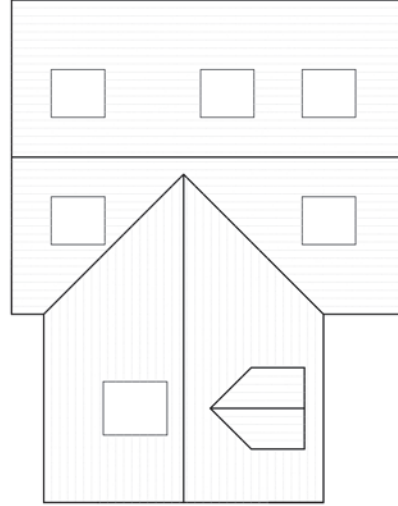
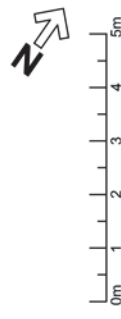
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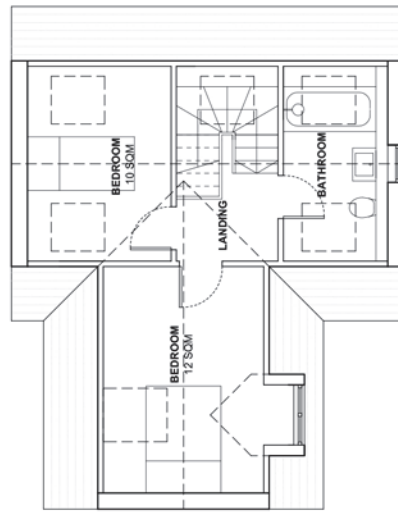
**Notes**

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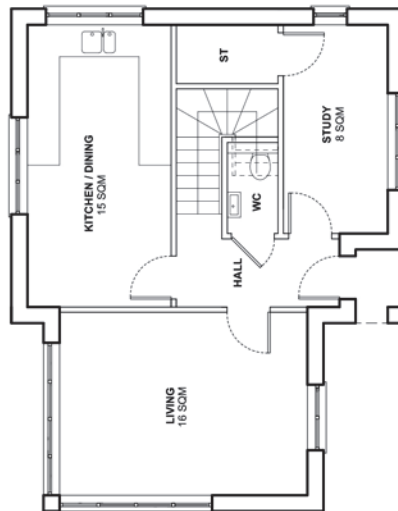
Rev	Date	Revision
A	28.01.15	windows added to living room



Proposed Roof Plan



Proposed First Floor Plan



Proposed Ground Floor Plan  
 GFA = 64 sqm

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 www.redandwhitedesign.co.uk  
 +44 (0)7769 907331

**Project**  
 26A Windmill Hill, Ruislip, HA4 8QE

**Drawing Title**  
 Proposed Floor Plans

**Drawn By**  
 LP

**Scale**  
 1:100 @ A3

**Project No**  
 14-021

**Drawing Status**  
 Planning

**Date**  
 Oct 2014

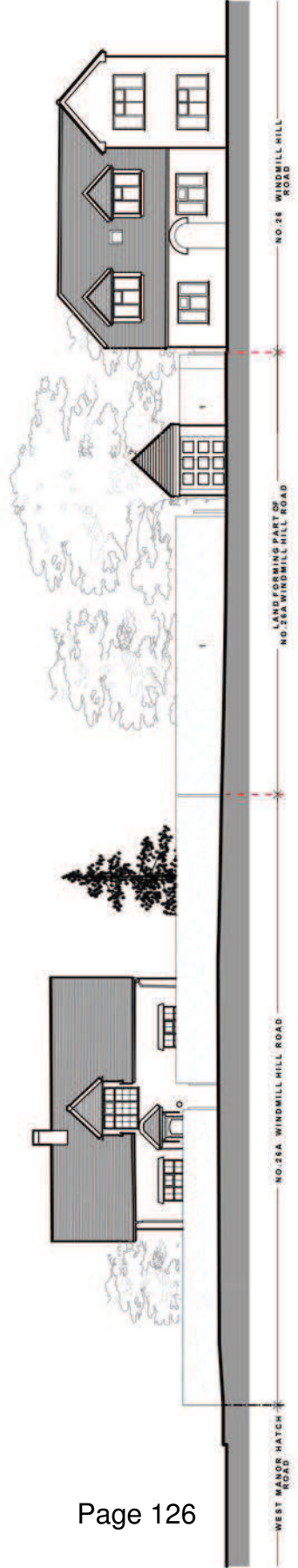
**Drawing No**  
 14-021-P03

**Revision**  
 A

**Notes**

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Rev	Date	Revision



- 1 HEDGE 2.2M HIGH
- 2 EXISTING GARAGE OUTLINE



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**Project**  
 26A Windmill Hill, Ruislip, HA4 8QE

**Drawing Title**  
 Existing Elevation Along  
 Windmill Road

**Drawn By**  
 LP

**Scale**  
 1:200 @ A3

**Project No**  
 13-008

**Drawing Status**  
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**Date**  
 Aug 2013

**Drawing No**  
 13-008-P03

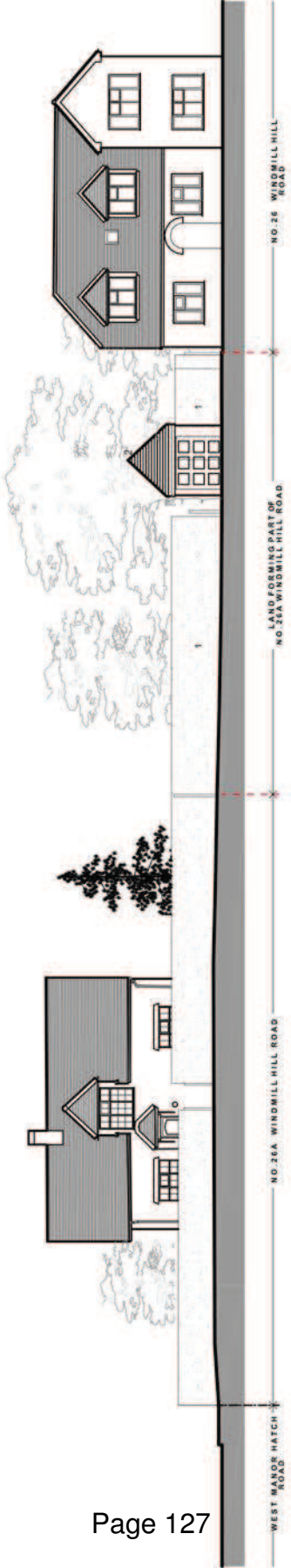
**Revision**  
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**Notes**

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Rev	Date	Revision



- 1 HEDGE 2.2M HIGH
- 2 EXISTING GARAGE OUTLINE
- SITE BOUNDARY



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**Project**

26A Windmill Hill, Ruislip, HA4 8QE

**Drawing Title**  
Existing Elevation Along LP  
Windmill Road

**Drawn By**  
LP

**Scale**  
1:200 @ A3

**Project No**  
14-021

**Drawing Status**  
Planning

**Date**  
Oct 2014

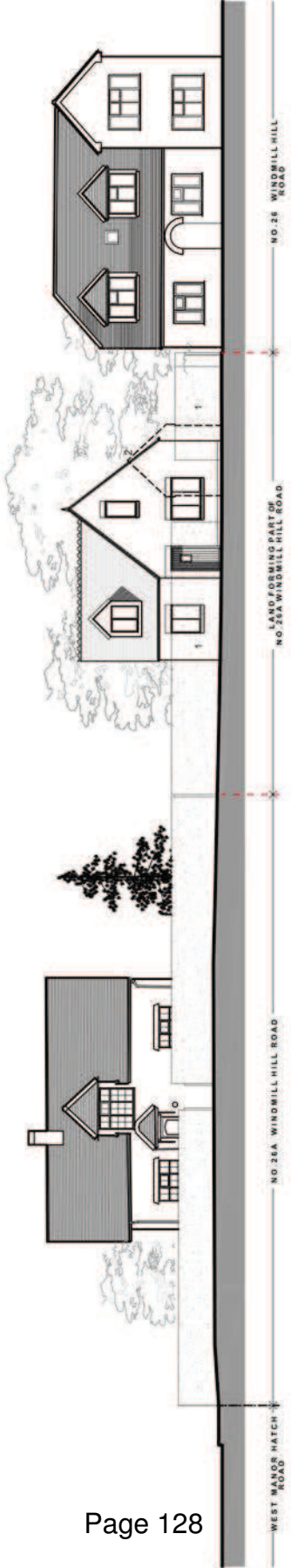
**Drawing No**  
14-021-P03

**Revision**  
-

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Rev	Date	Revision



- 1 HEDGE 2.2M HIGH
- 2 EXISTING GARAGE OUTLINE
- SITE BOUNDARY



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**Project**

26A Windmill Hill, Ruislip, HA4 8QE

**Drawing Title** Drawn By  
 Proposed Elevation Along LP  
 Windmill Road

**Scale** Project No  
 1:200 @ A3 14-021

**Drawing Status** Date  
 Planning Oct 2014

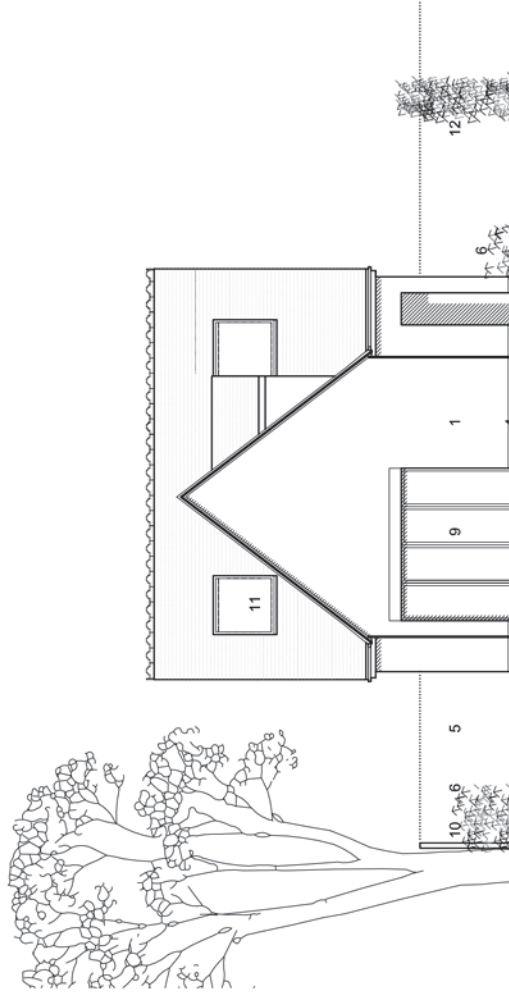
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**Notes**

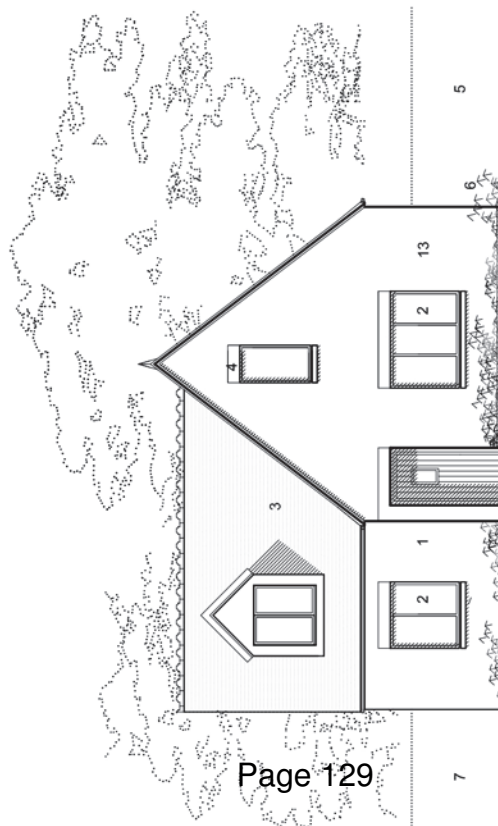
This drawing to be read in conjunction with all relevant Consultants information, drawings and specifications  
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Rev	Date	Revision

- 1 WHITE PAINTED RENDER
- 2 TIMBER WINDOWS
- 3 RED TILES TO MATCH EXISTING CONTEXT
- 4 RED BRICK DETAILING
- 5 TIMBER FENCE 1.8M HIGH
- 6 PLANTING BED
- 7 AMENITY SPACE
- 8 TIMBER FRONT DOOR
- 9 FOLDING/SLIDING DOOR
- 10 TREE RETAINED
- 11 VELOX STYLE ROOF LIGHT
- 12 HEDGE 2.2M HIGH
- 13 BRICKWORK



Proposed South Facing Elevation



Proposed East Facing Elevation

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**Project**

26A Windmill Hill, Ruislip, HA4 8QE

**Drawing Title**

Proposed East & South Facing Elevations

**Drawn By**

LP

**Scale**

1:100 @ A3

**Project No**

14-021

**Drawing Status**

Planning

**Date**

Oct 2014

**Drawing No**

14-021-P04

**Revision**

-

**Notes**

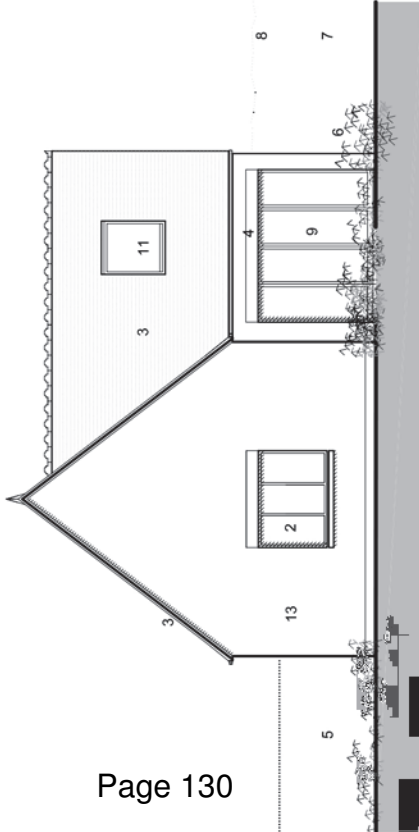
This drawing to be read in conjunction with all relevant Consultants information, drawings and specifications  
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Rev	Date	Revision

- 1 WHITE PAINTED RENDER
- 2 TIMBER WINDOWS
- 3 RED TILES TO MATCH EXISTING CONTEXT
- 4 RED BRICK DETAILING
- 5 TIMBER FENCE 1.8M HIGH
- 6 PLANTING BED
- 7 AMENITY SPACE
- 8 TIMBER FRONT DOOR
- 9 FOLDING SLIDING DOOR
- 10 TREE RETAINED
- 11 VELUX STYLE ROOF LIGHT
- 12 HEDGE 2.2M HIGH
- 13 BRICKWORK



Proposed North Facing Elevation



Proposed West Facing Elevation

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**Project**

26A Windmill Hill, Ruislip, HA4 8QE

**Drawing Title** Drawn By  
 Proposed West & North LP  
 Facing Elevations

**Scale** Project No  
 1:100 @ A3 14-021

**Drawing Status** Date  
 Planning Oct 2014

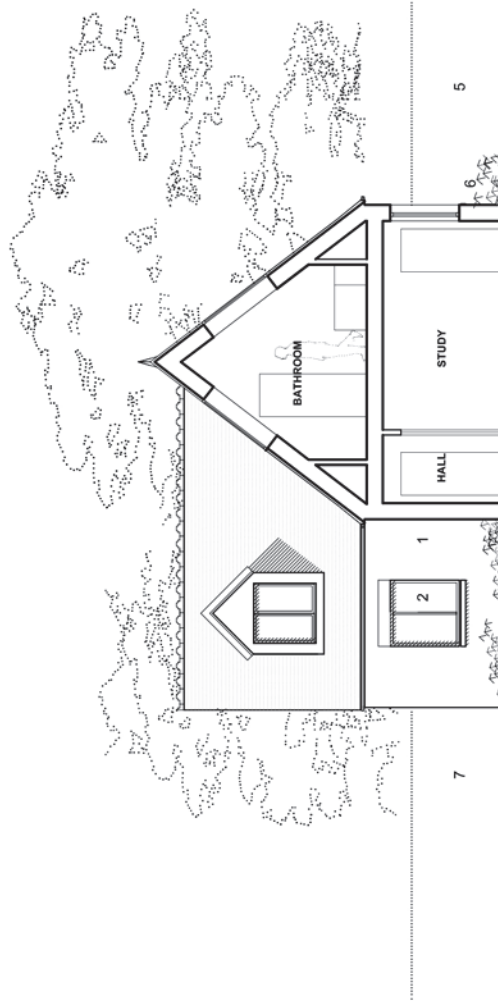
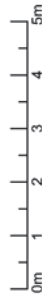
**Drawing No** Revision  
 14-021-P05

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Rev	Date	Revision

- 1 WHITE PAINTED RENDER
- 2 TIMBER WINDOWS
- 3 RED TILES TO MATCH EXISTING CONTEXT
- 4 RED BRICK DETAILING
- 5 TIMBER FENCE 1.8M HIGH
- 6 PLANTING BED
- 7 AMENITY SPACE
- 8 TIMBER FRONT DOOR
- 9 FOLDING/SLIDING DOOR
- 10 TREE RETAINED
- 11 VELUX STYLE ROOF LIGHT
- 12 HEDGE 2.2M HIGH
- 13 BRICKWORK



Proposed Section

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**Project**

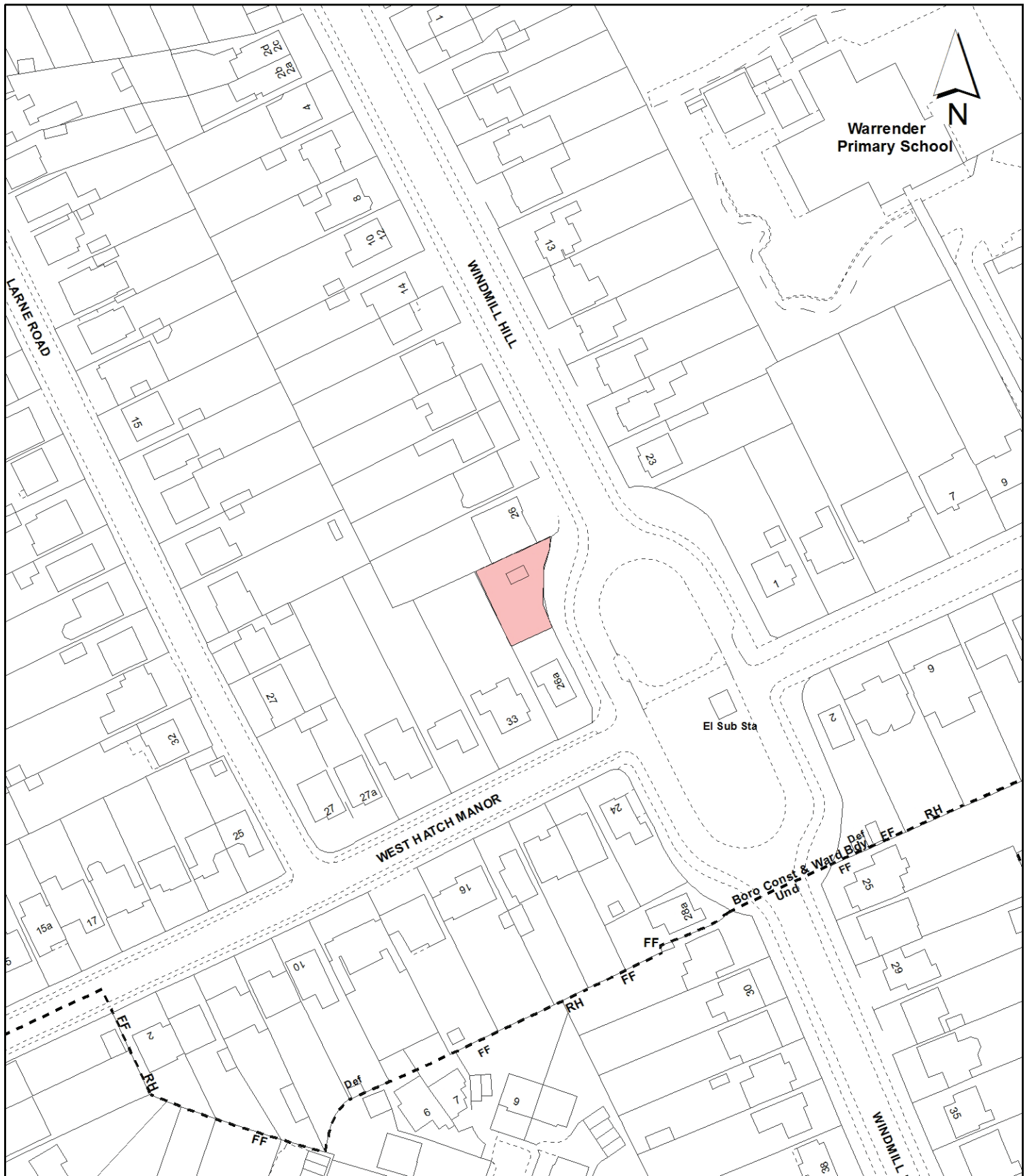
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<b>Drawing Title</b>	<b>Drawn By</b>
Proposed Typical Section	LP

<b>Scale</b>	<b>Project No</b>
1:100 @ A3	14-021

<b>Drawing Status</b>	<b>Date</b>
Planning	Oct 2014

<b>Drawing No</b>	<b>Revision</b>
14-021-P07	-



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Site Address:

**Land forming part of 26A  
 Windmill Hill  
 Ruislip**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:  
**67242/APP/2015/188**

Scale:  
**1:1,250**

Planning Committee:  
**North Page 132**

Date:  
**July 2015**



**HILLINGDON**  
 LONDON

**Report of the Head of Planning, Sport and Green Spaces**

**Address** 2 PARK AVENUE RUISLIP

**Development:** Two storey rear extension

**LBH Ref Nos:** 11331/APP/2015/807

**Date Plans Received:** 05/03/2015

**Date(s) of Amendment(s):**

**Date Application Valid:** 12/03/2015



## LOCATION PLAN

ADDRESS

2 PARK AVENUE

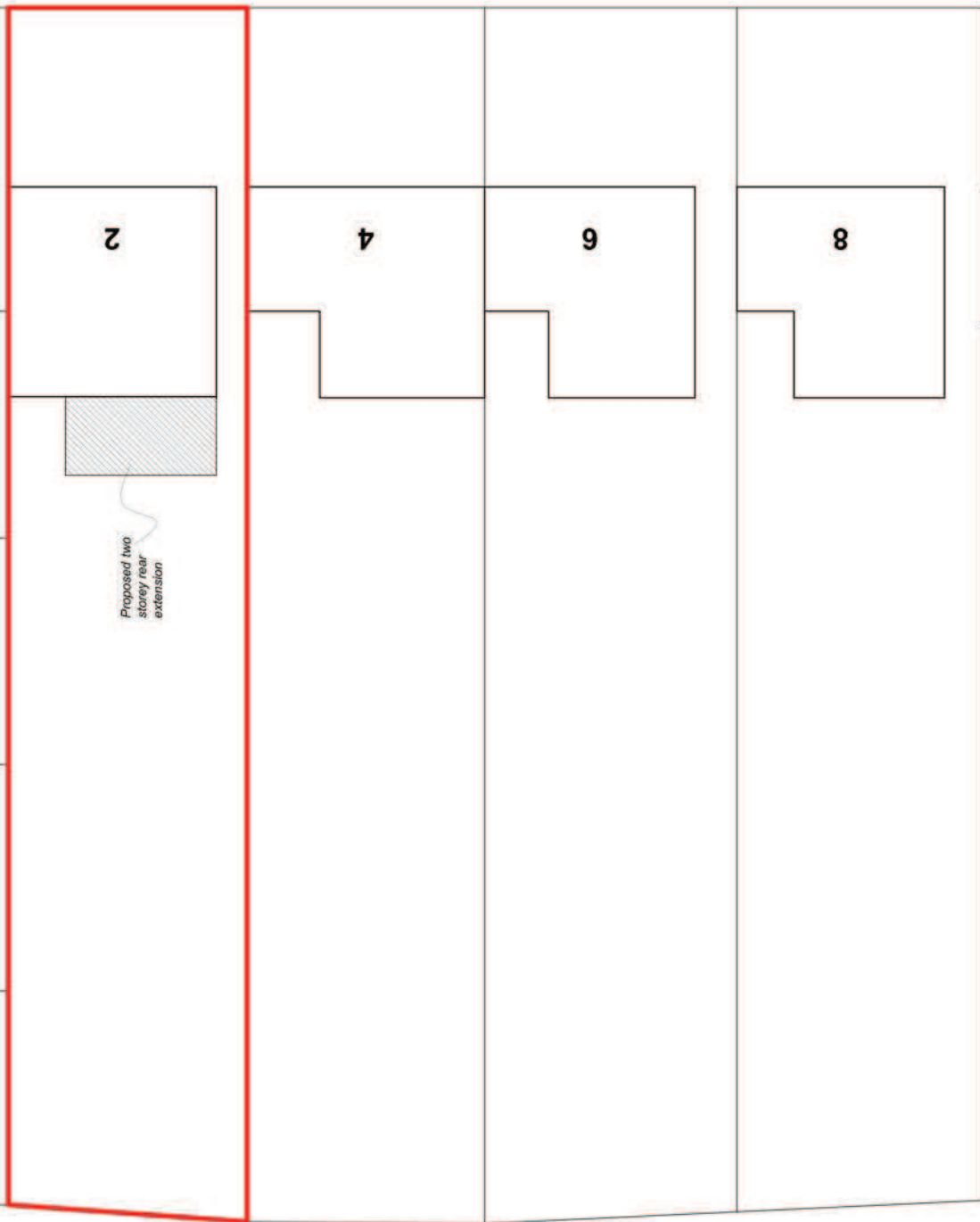
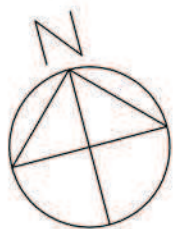
RUISLIP

HA4 7UQ



SCALE 1:1250





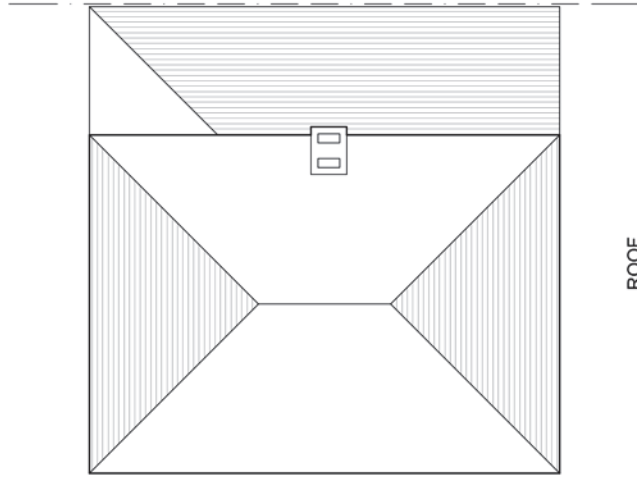
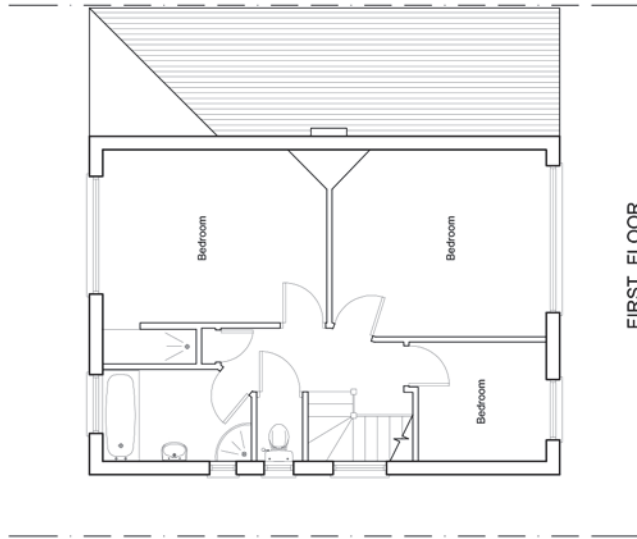
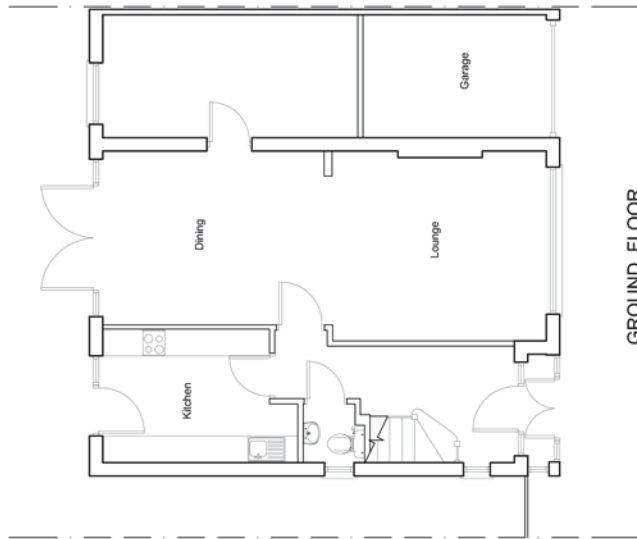
**SITE PLAN**

REVISION
Dwg. No. 15/2875/1
Scale 1:200@A3
Date 03/02/15
Drawn by A.Razick

**THE GILLETT MACLEOD PARTNERSHIP**  
Chartered Architects & Town Planning Consultants  
1 High Road Old Eastons Floner Middlesex HA5 2EW Tel. 0208 888 1333



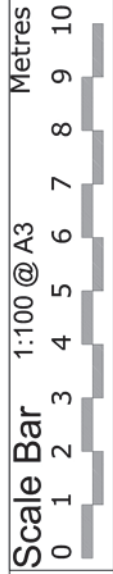
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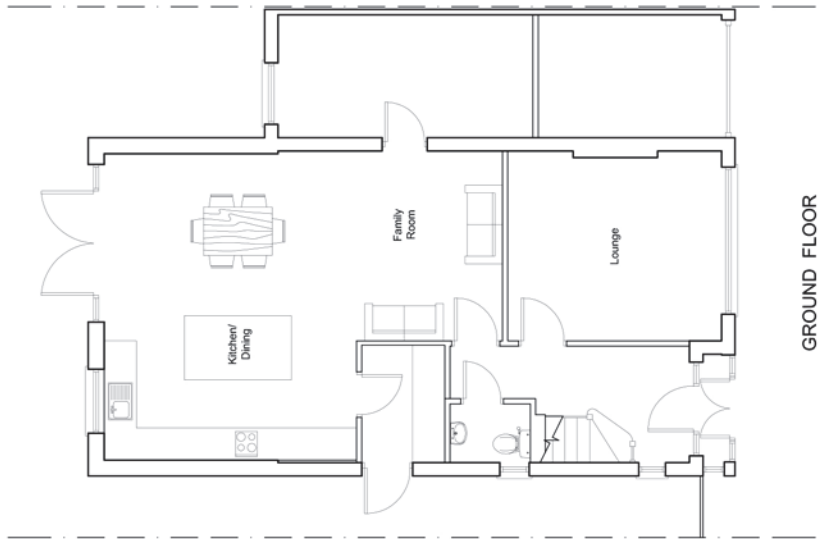
EXISTING FLOOR PLANS

REVISION	
Dwg. No.	15/2875/2
Scale	1:100@A3
Date	03/02/15
Drawn by	A.Razick

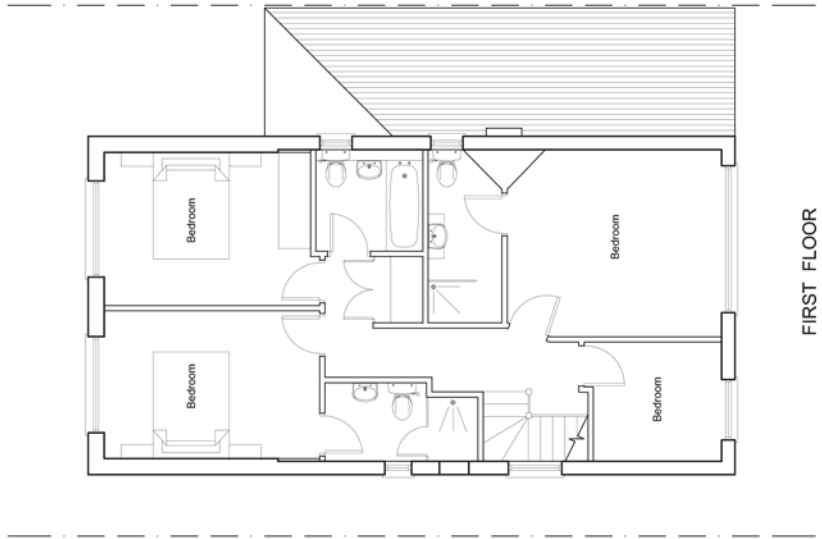

**THE GILLETT MACLEOD PARTNERSHIP**  
 Chartered Architects & Town Planning Consultants  
 1 High Road Old Eastcote Finer Midlands M43 2EW Tel. 0208 868 1333



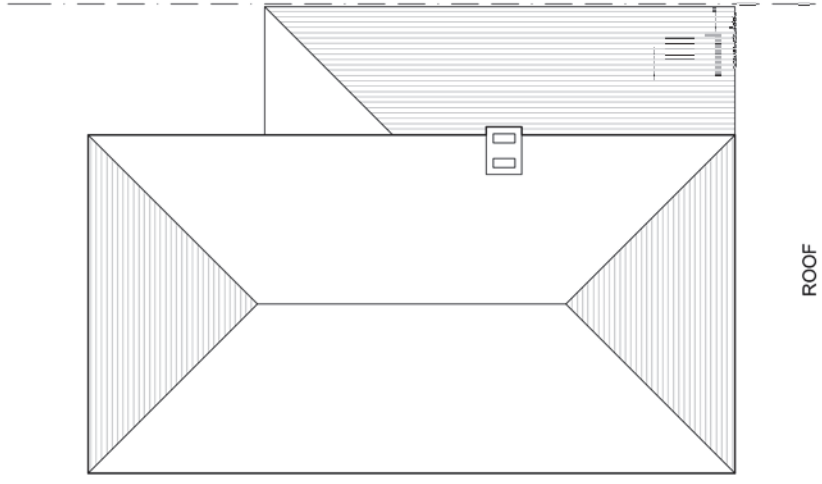
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GROUND FLOOR

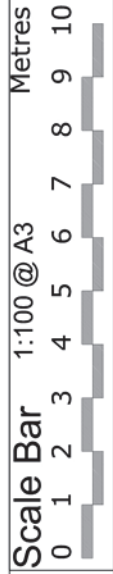


FIRST FLOOR



ROOF

PROPOSED FLOOR PLANS

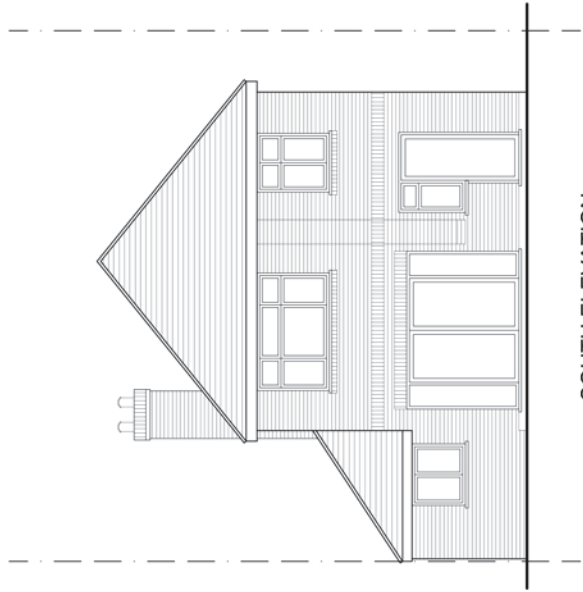


**2 Park Avenue, Ruislip, HA4 7UQ**

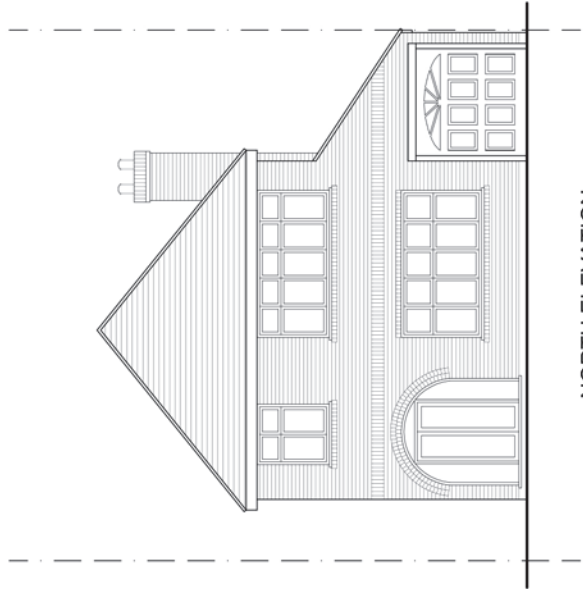
**THE GILLETT MACLEOD PARTNERSHIP**  
 Chartered Architects & Town Planning Consultants  
 1 High Road Old Eastcote Pinner Middlesex HA5 2EW Tel. 0208 868 1333

Drg. No. 15/2875/4  
 Scale 1:100@A3  
 Date 03/02/15  
 Drawn by A.Razick

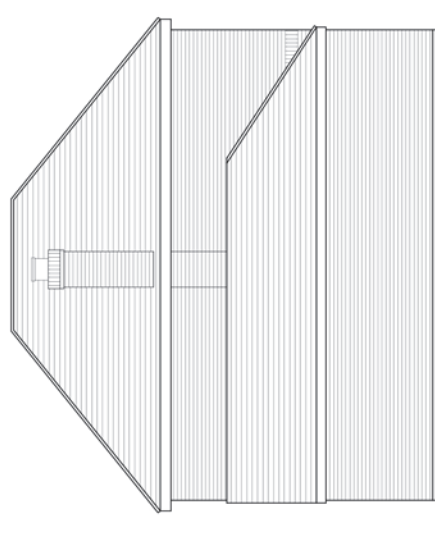
REVISION	
	C



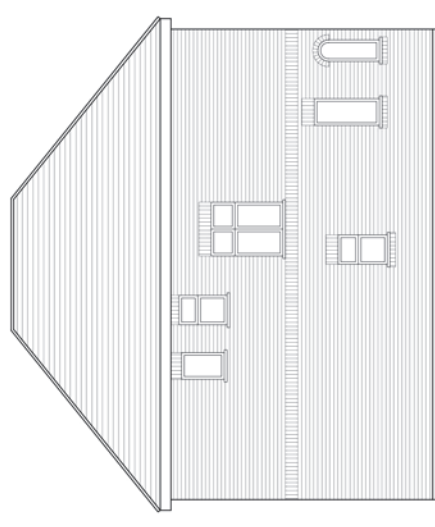
SOUTH ELEVATION



NORTH ELEVATION

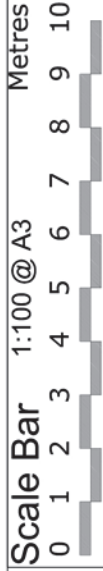


WEST ELEVATION



EAST ELEVATION

EXISTING ELEVATIONS

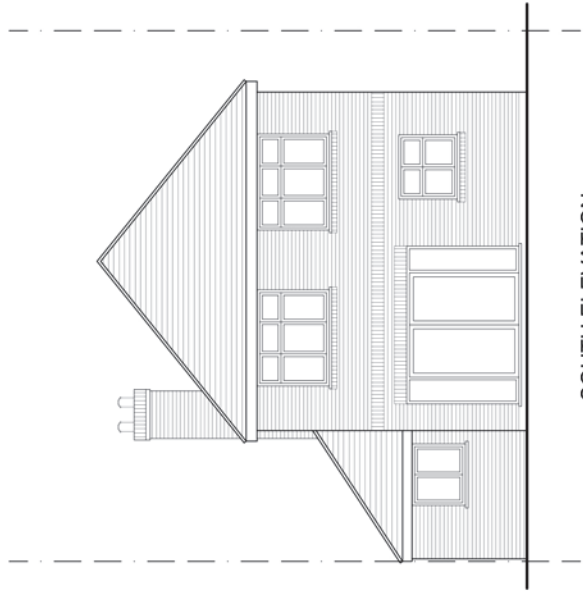


**2 Park Avenue, Ruislip, HA4 7UQ**

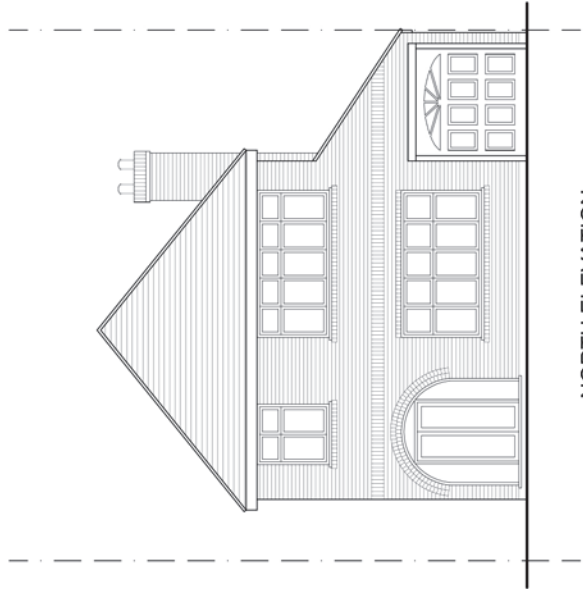
**THE GILLETT MACLEOD PARTNERSHIP**  
Chartered Architects & Town Planning Consultants  
1 High Road Old Eastcote Pinner Middlesex HA5 2EW Tel. 0208 868 1333

Drg. No. 15/2875/3  
Scale 1:100@A3  
Date 03/02/15  
Drawn by A.Razick

REVISION
C

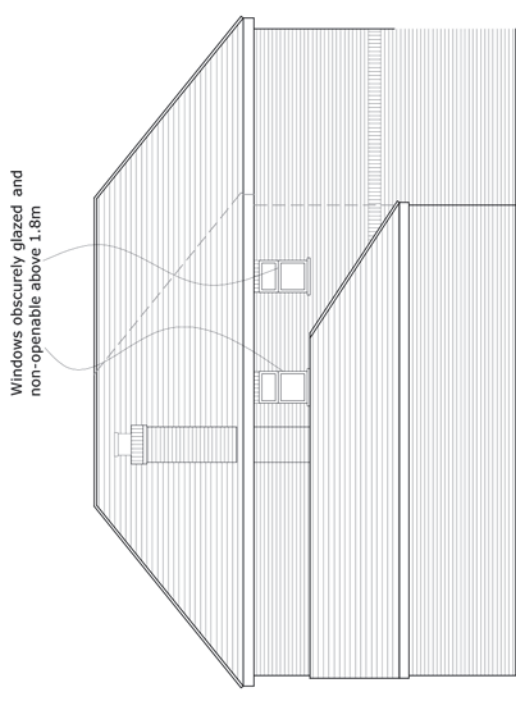


SOUTH ELEVATION

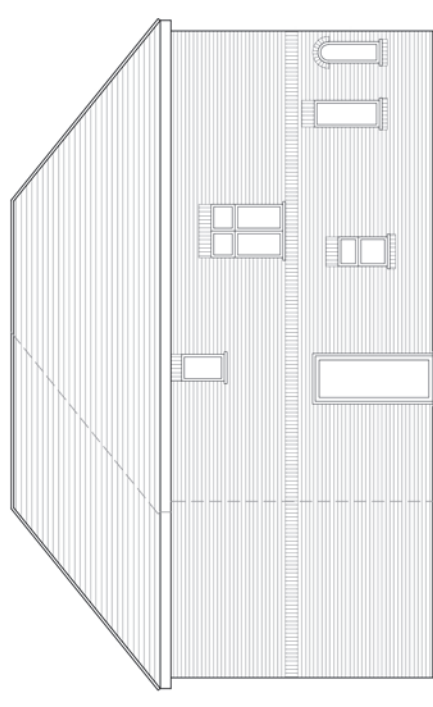


NORTH ELEVATION

Windows obscurely glazed and non-operable above 1.8m



WEST ELEVATION



EAST ELEVATION

PROPOSED ELEVATIONS

Scale Bar 1:100 @ A3 Metres



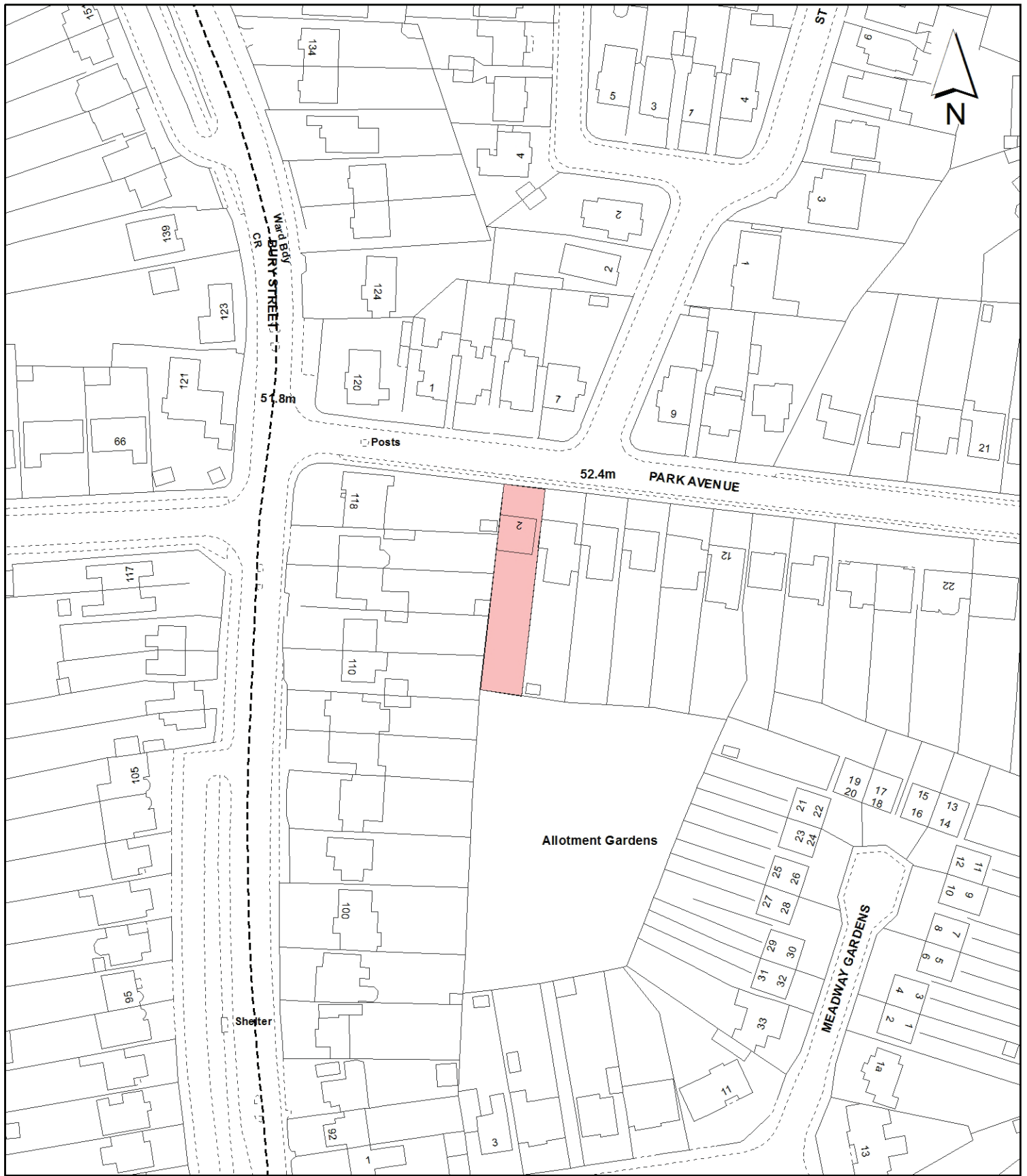
**2 Park Avenue, Ruislip, HA4 7UQ**

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 Chartered Architects & Town Planning Consultants  
 1 High Road Old Eastcote Pinner Middlesex HA5 2EW Tel. 0208 868 1333

Dwg. No. 15/2875/5  
 Scale 1:100@A3  
 Date 03/02/15  
 Drawn by A.Razick

REVISION





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Site Address:

**2 Park Avenue  
 Ruislip**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:  
**11331/APP/2015/807**

Scale:  
**1:1,250**

Planning Committee:  
**North Page 140**

Date:  
**July 2015**



**HILLINGDON**  
 LONDON

**Report of the Head of Planning, Sport and Green Spaces**

**Address** 2 RAISINS HILL EASTCOTE PINNER

**Development:** Part two storey, part single storey side/rear extension and conversion of roofspace to habitable use to include 2 rear dormers, 2 side rooflights and 1 front rooflight


**LBH Ref Nos:** 32216/APP/2015/517

**Date Plans Received:** 10/02/2015      **Date(s) of Amendment(s):** 10/02/0015

**Date Application Valid:** 20/02/2015

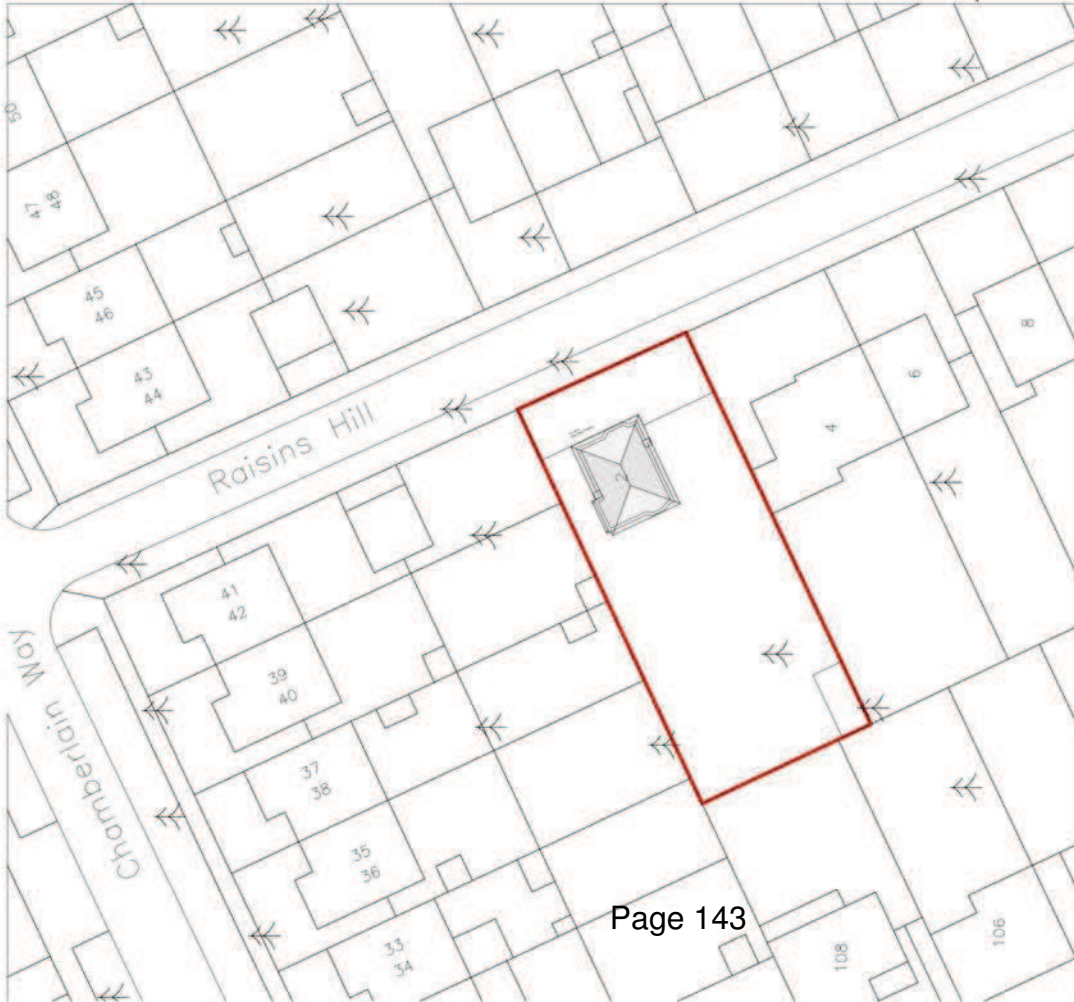
Please note that construction must only commence once planning, building control and any other approvals have been received. It is the responsibility of the owner/contractor to commence prior to these approvals.



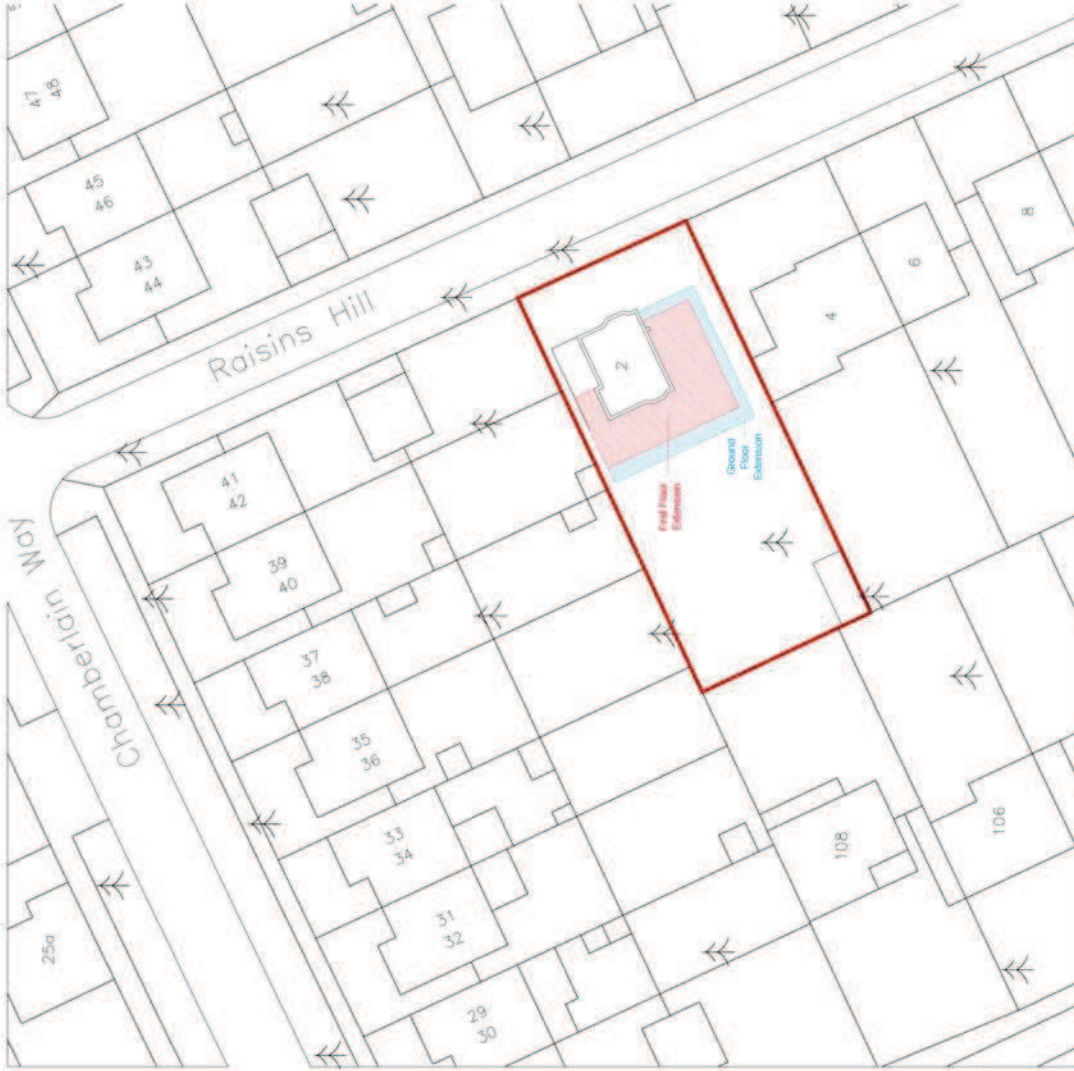
Revision	Date	Description	Scale	 <small>info@construct360.co.uk Tel: 0208 206 0011</small>	
			A4 @ 1:1250	Planning Permission Specialists Site Address:	
			Revision		
			1st	2 Raisins Hill PINNER HA5 2BS	
			Feb-15		
			Drawn By	Location Plan Drawing Number: RH2-1006	



Please note that construction must only commence once planning, building control and any other approvals have been received. It is the responsibility of the owner/contractor to commence prior to these approvals.



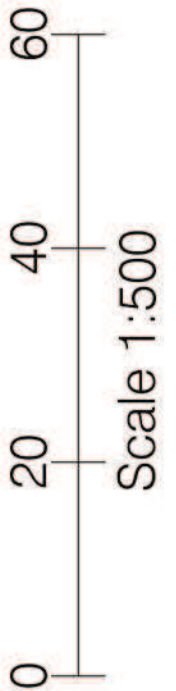
Existing Block Plan



Proposed Block Plan

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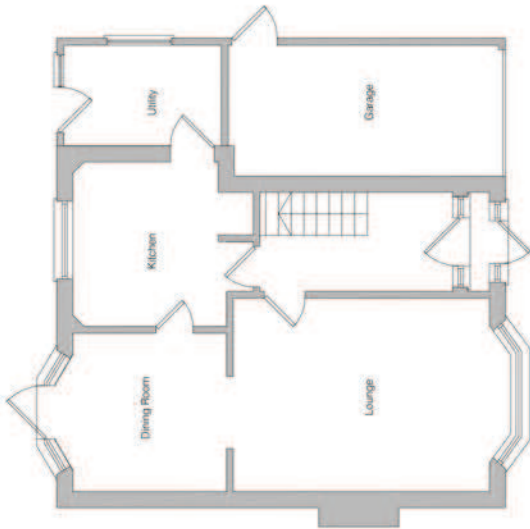
**IMPORTANT GENERAL NOTE:**  
 In connection with the planning details, and other associated structural details, any (or any) of the above is to be checked out by the relevant authority. All dimensions, levels, contours and locations of particular as indicated on drawings are to be checked out by the relevant authority. All dimensions, levels, contours and locations of particular as indicated on drawings must be reported to the Architectural Engineer or responsible person. It is the responsibility of the Architectural Engineer, and the relevant authority, to ensure that the drawings are in accordance with the appropriate health & safety or other regulations. The Contractor must obtain any necessary third party consents prior to commencing the work on site.

Revision	Date	Description
A	14/02/15	Proposed the plan amended
B	17/02/15	Plans has amended

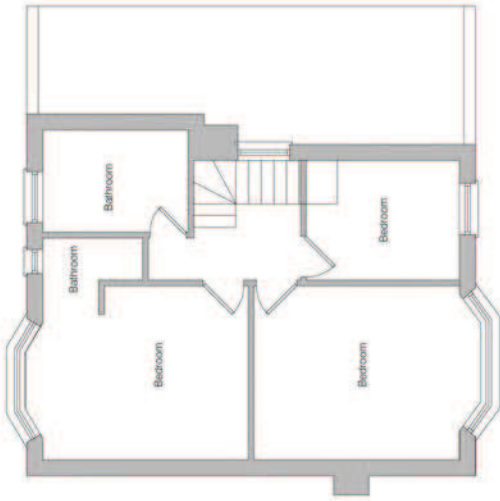
Scale	A3 @ 1:500	Drawn By	HAS
Author	Don't Move Extend	Checked By	HAS
Client	2 Raisins Hill PINNER HA5 2BS	Project No.	RH2-1005B
Contact	info@dontmoveextend.co.uk Tel: 0208 206 0071	Project Name	Existing & Proposed Block Plans

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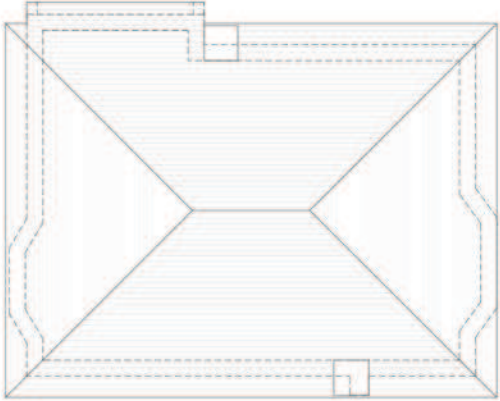
Please note that construction must only commence once planning, building control and any other approvals have been received. It is the responsibility of the owner/contractor to commence prior to these approvals.



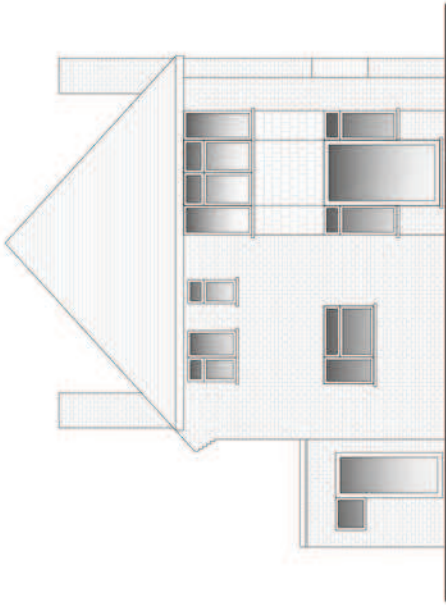
Existing Ground Floor Plan  
Scale 1:100



Existing First Floor Plan  
Scale 1:100



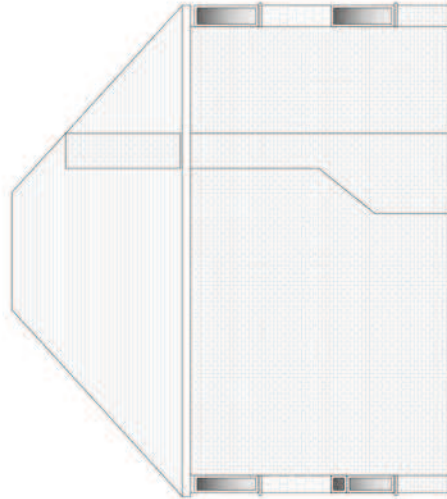
Existing Roof Plan  
Scale 1:100



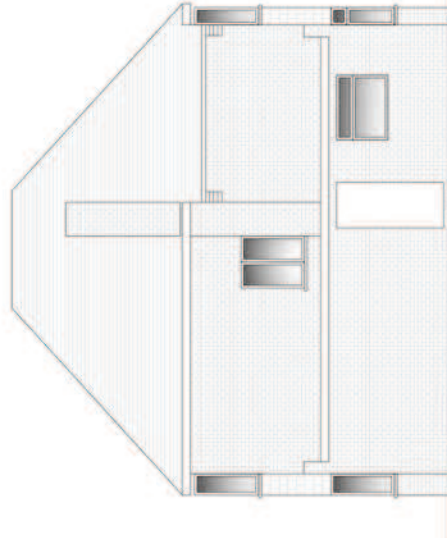
Existing Rear Elevation  
Scale 1:100



Existing Front Elevation  
Scale 1:100

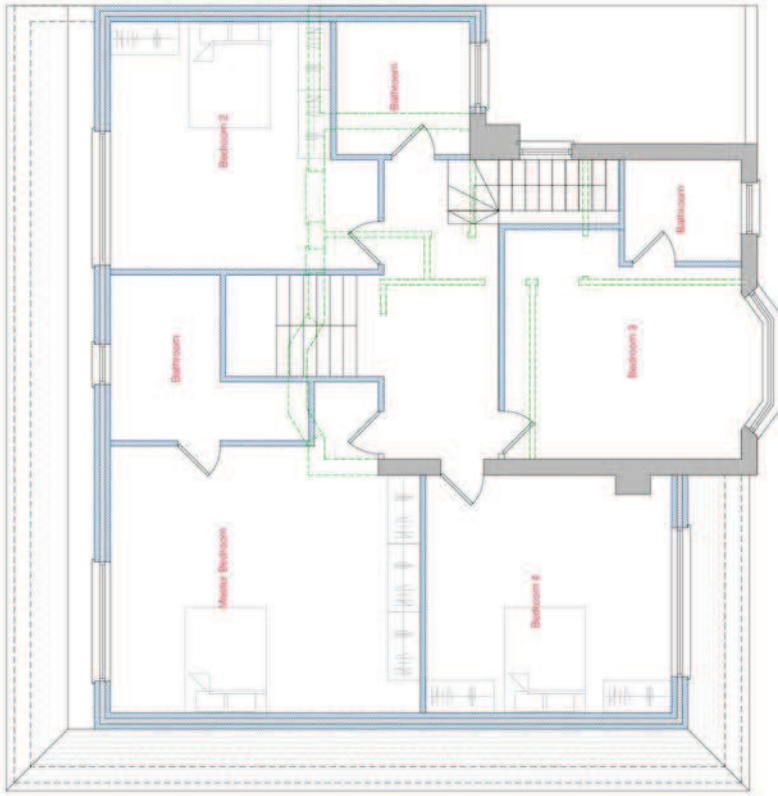
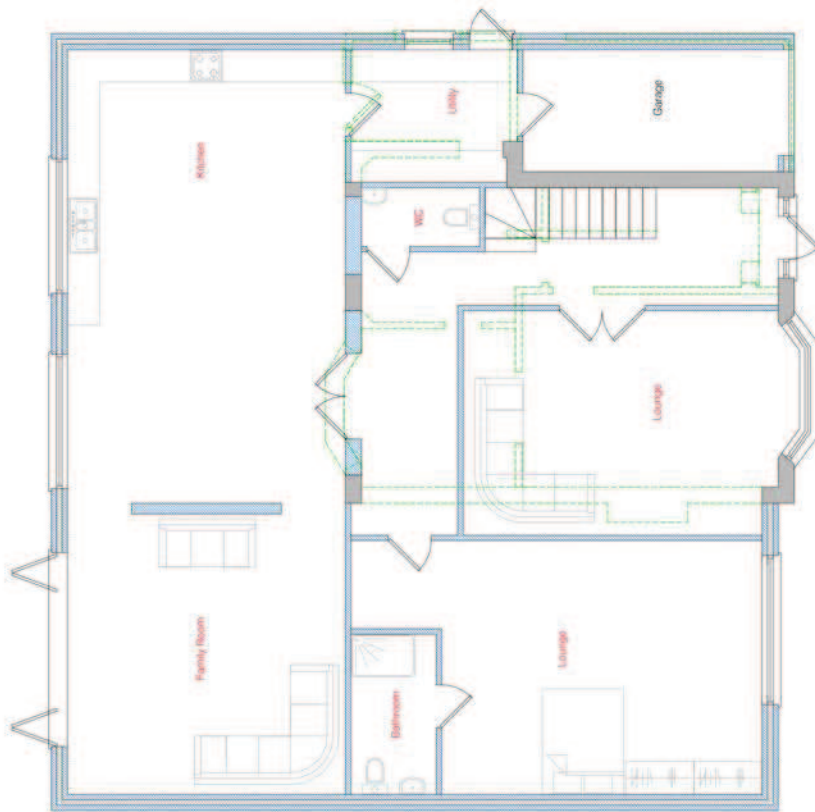


Existing Side Elevation  
Scale 1:100



Existing Side Elevation  
Scale 1:100

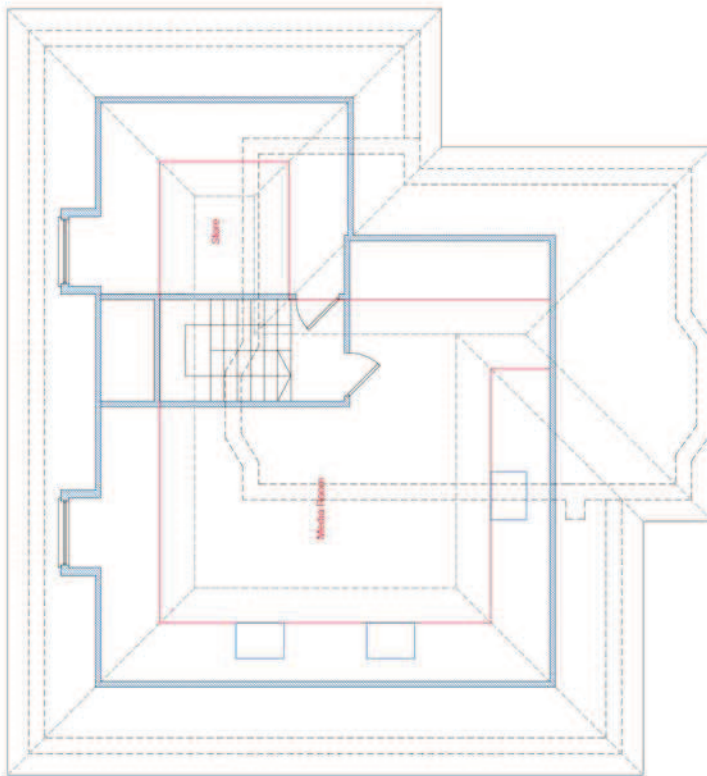
<p><b>IMPORTANT GENERAL NOTE</b> This specification is to be used in conjunction with the permit/contract plans and other documents. It is the responsibility of the contractor to ensure that all work is carried out in accordance with the relevant Building Regulations, Approved Documents and the Code of Practice for Building. It is the contractor's responsibility to ensure that all work is carried out in accordance with the relevant Building Regulations, Approved Documents and the Code of Practice for Building. It is the contractor's responsibility to ensure that all work is carried out in accordance with the relevant Building Regulations, Approved Documents and the Code of Practice for Building.</p>		<p>Revision: _____ Date: _____ Description: _____</p>
<p>Scale: A3 @ 1:100 Sheet: 1st Date: Feb-15 Drawn By: HAS</p>	<p><b>DontMoveExtend.com</b> Planning Permits/Speculations 1st Floor 2 Rains Hill PINNER HAS 2BS Drawing Number: RH2-1001</p>	
<p>Legend</p> <ul style="list-style-type: none"> <li>Walls Removed</li> <li>New Walls</li> <li>Existing Walls to Remain</li> <li>Roof Structure</li> <li>Sound Separating Walls</li> <li>Boundary</li> </ul>	<p>0 5 10 Meters 1:100</p>	



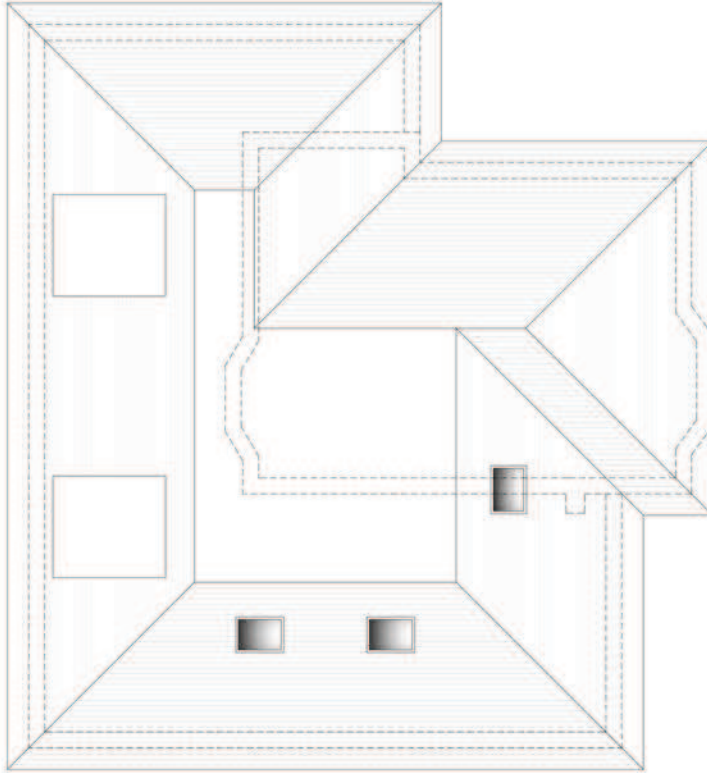
Proposed Ground Floor Plan  
Scale 1:100

Proposed First Floor Plan  
Scale 1:100

<p><b>LEGEND</b></p> <ul style="list-style-type: none"> <li>Walls Removed</li> <li>New Walls</li> <li>Existing Walls to Remain</li> <li>Roof Structure</li> <li>Sound Separating Walls</li> <li>Boundary</li> </ul>		<p><b>IMPORTANT GENERAL NOTE</b></p> <p>This specification is to be read in conjunction with the production details, and other drawings, and shall be subject to the Local Authority Planning and Building Regulations Approval and the Code of Practice and Best Practice as necessary.</p> <p>All work is to be carried out in accordance with the Building Regulations and the Code of Practice and Best Practice as necessary.</p> <p>Any discrepancies must be reported to the Architect/Designer/Engineer or responsible persons.</p> <p>The Contractor is responsible for ensuring compliance with the CDM Regulations, and the Client/Builder/Owner must obtain any necessary PARTY WALL AGREEMENTS prior to engaging in the works on site.</p>		<p>Scale: A3 @ 1:100</p> <p>Revision: 1st</p> <p>Date: Feb-15</p> <p>Drawn by: HIAS</p>		<p><b>DontMoveExtend</b> PLANNING PERMISSIONS SPECIALISTS</p> <p>2 Rabbits Hill PINNER HAS 2BS</p> <p>Proposed Plans RH2-1002</p>	
<p>0 5 10 Meters 1:100</p>		<p>0 5 10</p>		<p>Copyright ©</p>			

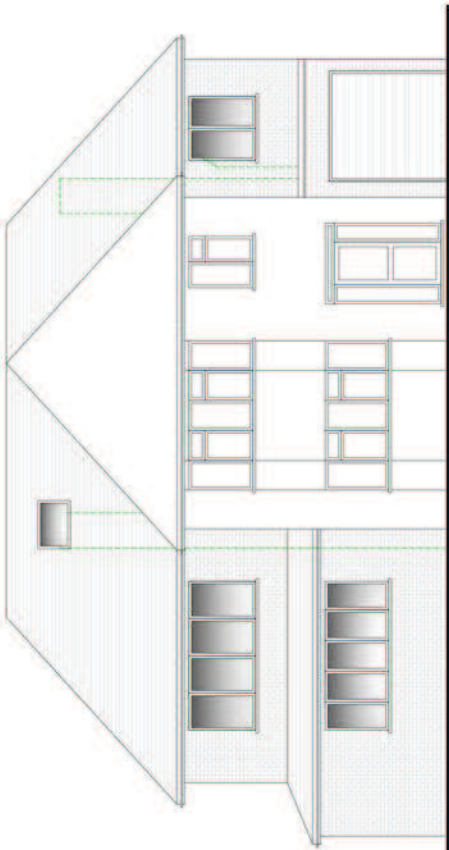


Proposed Loft Plan  
Scale 1:100

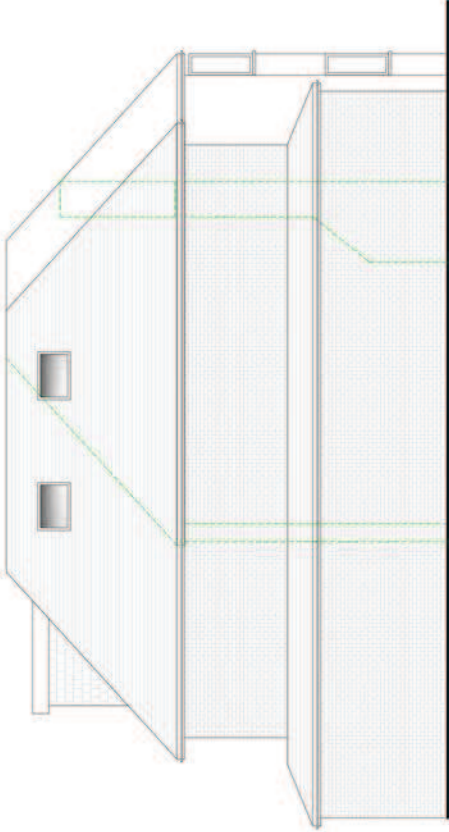


Proposed Roof Plan  
Scale 1:100

<p><b>IMPORTANT GENERAL NOTE</b> This specification shall read in conjunction with the planning details, and other drawings, and shall be subject to the Local Authority Planning and Building Regulations Approval and the Codes of Practice and British Standards as necessary. All work is to be carried out in accordance with the approved Contract or other documents to be verified by the approved Contractor or site prior to engaging in work. Any discrepancies must be reported to the Architect/Engineer or responsible person. The Contractor is responsible for ensuring compliance with the CDM Regulations and the Construction (Design and Management) Regulations 2015. The Contractor must obtain any necessary SAFETY SCHEDULE AGREEMENTS prior to engaging in the work on site.</p>		<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>	<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>	<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>
<p>Legend</p> <ul style="list-style-type: none"> <li>Walls Removed</li> <li>New Walls</li> <li>Existing Walls to Remain</li> <li>Roof Structure</li> <li>Sound Separating Walls</li> <li>Boundary</li> </ul>		<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>	<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>	<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>
<p>0 5 10 Meters 1:100</p>		<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>	<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>	<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>
<p>Don't Move Extend 2 Basins Hill PINNER HAS 2BS</p>		<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>	<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>	<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>
<p>Proposed Plans RH2-1003A</p>		<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>	<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>	<p>Scale: A3 @ 1:100 Revision: A Date: 17.02.19 Description: Roofing comments</p>



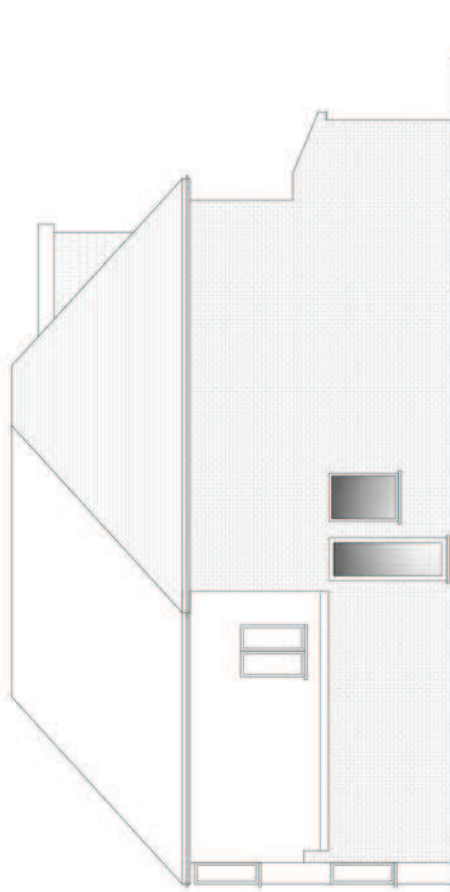
Proposed Front Elevation  
Scale 1:100



Proposed Side Elevation  
Scale 1:100



Proposed Rear Elevation  
Scale 1:100



Proposed Side Elevation  
Scale 1:100



Legend	
--- (dashed line)	Walls Removed
--- (dotted line)	New Walls
--- (solid line)	Existing Walls to Remain
--- (solid line)	Roof Structure
--- (solid line)	Sound Separating Walls
--- (solid line)	Boundary

**IMPORTANT GENERAL NOTE:**  
The Contributor/Owner must obtain any necessary PARTY WALL AGREEMENTS prior to engaging in the works set out.  
The Contributor/Owner must obtain any necessary PARTY WALL AGREEMENTS prior to engaging in the works set out.  
The Contributor/Owner must obtain any necessary PARTY WALL AGREEMENTS prior to engaging in the works set out.

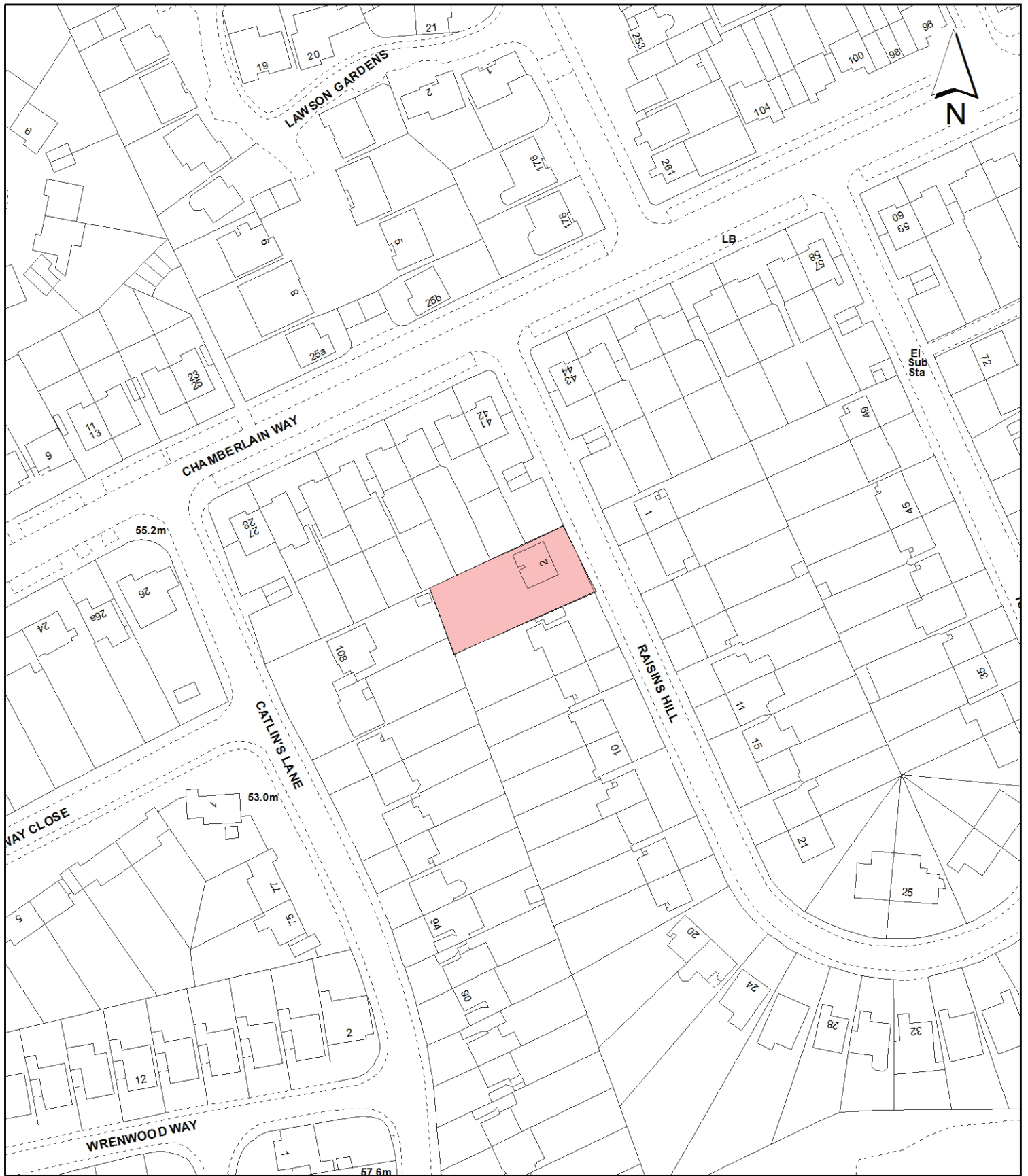
Number	Date	Description
A	14/02/15	Side elevation amended

Scale	A3 @ 1:100
Version	A
Issue No	Feb-15
Drawn By	HAS

**DontMoveExtend**  
Planning Permits Specialists  
info@dontmoveextend.com  
Tel: 0208 206 0811

2 Raisins Hill  
PINNER  
HA5 2BS

Proposed Elevations  
Drawing Number  
RH2-1004A



**Notes:**

 Site boundary

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Site Address:

**2 Raisins Hill  
 Eastcote  
 Pinner**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:  
**32216/APP/2015/517**

Scale:  
**1:1,250**

Planning Committee:  
**North Page 148**

Date:  
**July 2015**



**Report of the Head of Planning, Sport and Green Spaces**

**Address** 7 MORFORD WAY EASTCOTE

**Development:** Conversion of roof space to habitable use to include a rear dormer, 2 rear roof lights, 2 front roof lights, new window in western side roof and conversion of roof from hip to gable ends (removal of chimney stack in rear roof)

**LBH Ref Nos:** 42971/APP/2015/1629

**Date Plans Received:** 01/05/2015

**Date(s) of Amendment(s):** 01/05/0015

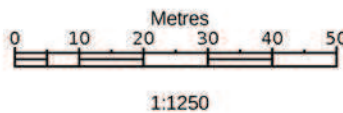
**Date Application Valid:** 12/05/2015



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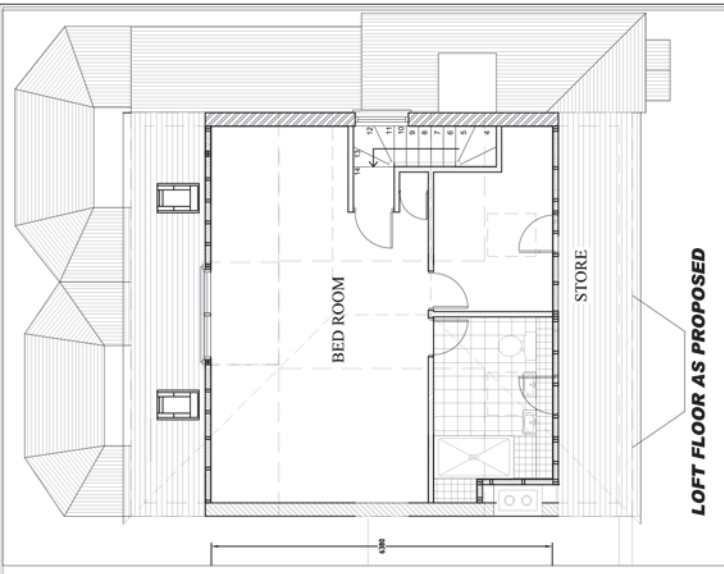
The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.



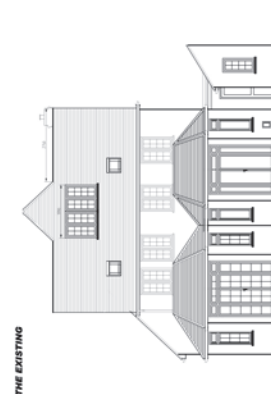
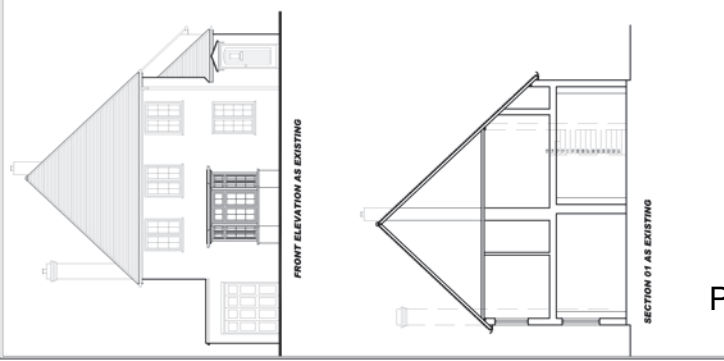
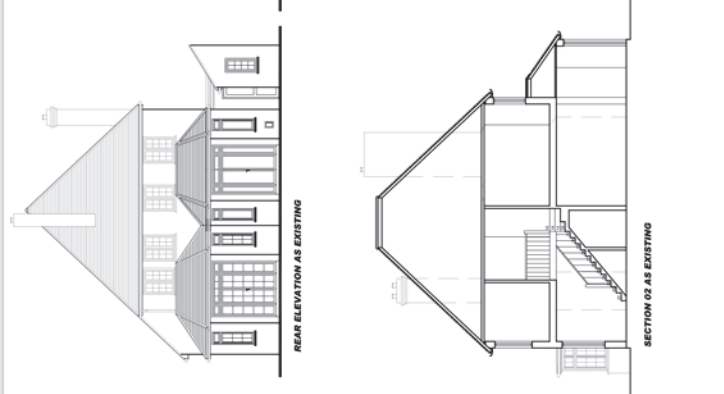
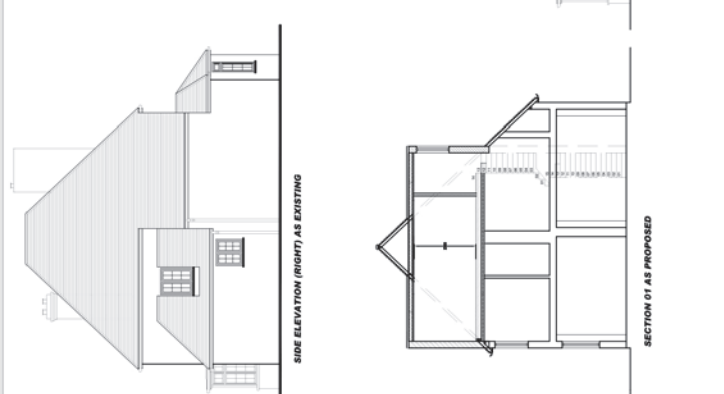
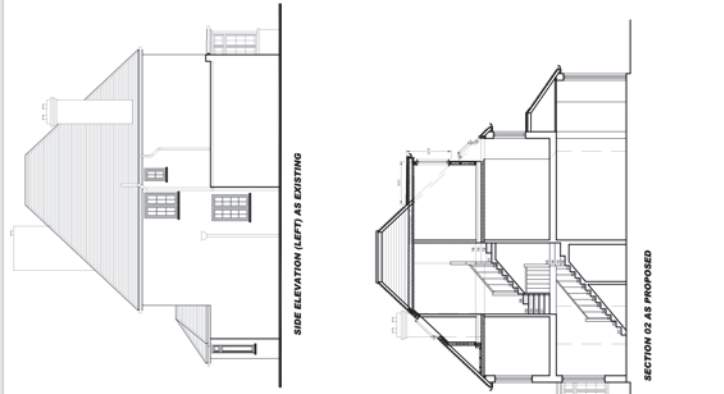
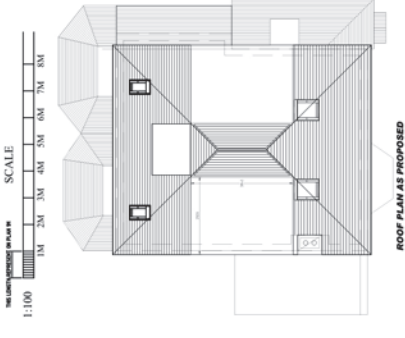
**7 MORFORD WAY**  
**RUISLIP**  
**HA4 8SL**

Supplied by: **Stanfords 16 Jan 2014**  
 Stanfords Ordnance Survey Partner  
 Licence: 100035409  
 Order Licence Reference: OI664855  
 Centre coordinates: 511006 187717

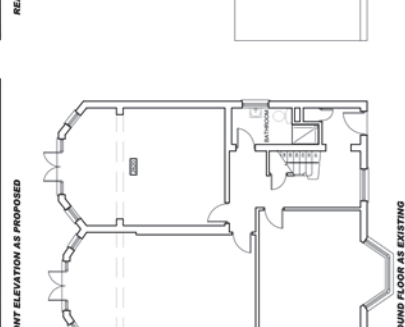
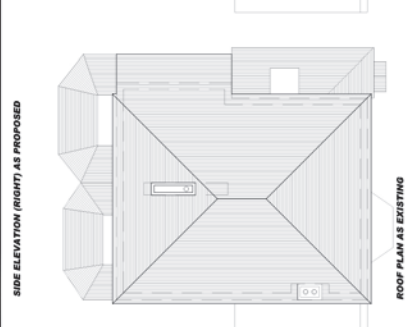
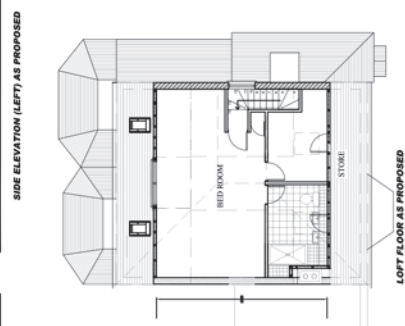
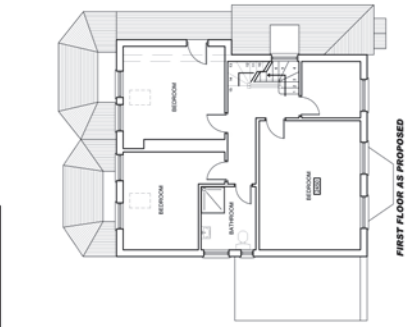




HIP TO GABLE=4(1/3) (.5 X 2.735X 2.865) 2.75  
 = 14.36 M<sup>2</sup>  
 (2.92X 3.84X2.75)  
 = 30.83 M<sup>2</sup>  
 = 45.19 M<sup>2</sup>  
 MAIN LOFT= (.5 X 1.6X 1.69) 1.99  
 = 2.69 M<sup>2</sup>  
 TOTAL = 47.88 M<sup>2</sup>



ALL MATERIALS TO MATCH THE EXISTING



**SURVEY DESIGN PARTNERS LTD**  
 100 RIVER STREET  
 WIMBORNE DORSET  
 BH20 9JG  
 TEL: 01202 861111  
 WWW.SURVEYDESIGNPARTNERS.COM

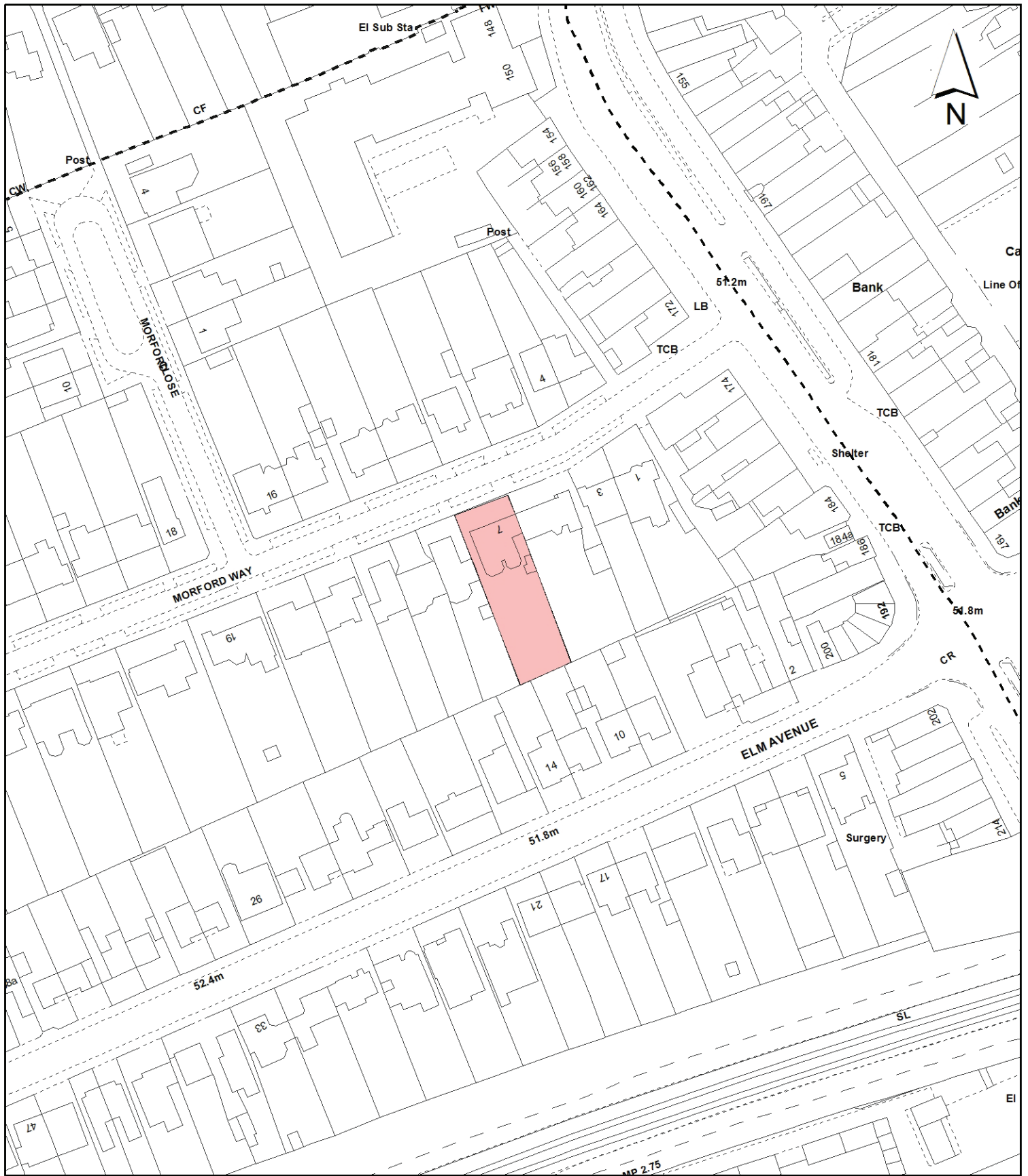
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**SCHEME B**  
**FLOOR PLANS SECTIONS & ELEVATIONS**  
 DWG NO: 007/MOR/002  
 DATE: JAN 2015  
 REV NO: A

**SCALE**  
 1:100/1:50  
**TITLE**  
 SIDE HIP TO GABLE/REAR DORMER  
 LOFT CONVERSION

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 5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE STATED.

**PROJECT ADDRESS**  
 7 MORFORD WAY  
 EASTCOAT  
 HA1 8SL

**CLIENT:**  
 MR. JOHN SCHOPFIELD  
 7 MORFORD WAY  
 EASTCOAT  
 HA1 8SL



**Notes:**

 Site boundary

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Site Address:

**7 Morford Way  
 Eastcote**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:

**42971/APP/2015/1629**

Scale:

**1:1,250**

Planning Committee:

**North Page 152**

Date:

**July 2015**



**HILLINGDON**  
 LONDON

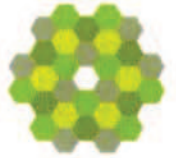
**Report of the Head of Planning, Sport and Green Spaces**

**Address** JOEL STREET FARM JOEL STREET NORTHWOOD  
**Development:** Single storey side extension for use as an office  
**LBH Ref Nos:** 8856/APP/2015/1333

**Date Plans Received:** 13/04/2015      **Date(s) of Amendment(s):** 12/04/2015  
**Date Application Valid:** 13/04/2015      03/07/2015

Land Registry  
Official copy of  
title plan

Title number **AGL63678**  
Ordnance Survey map reference **TQ1089NW**  
Scale **1:1250**  
Administrative area **HILLINGDON**

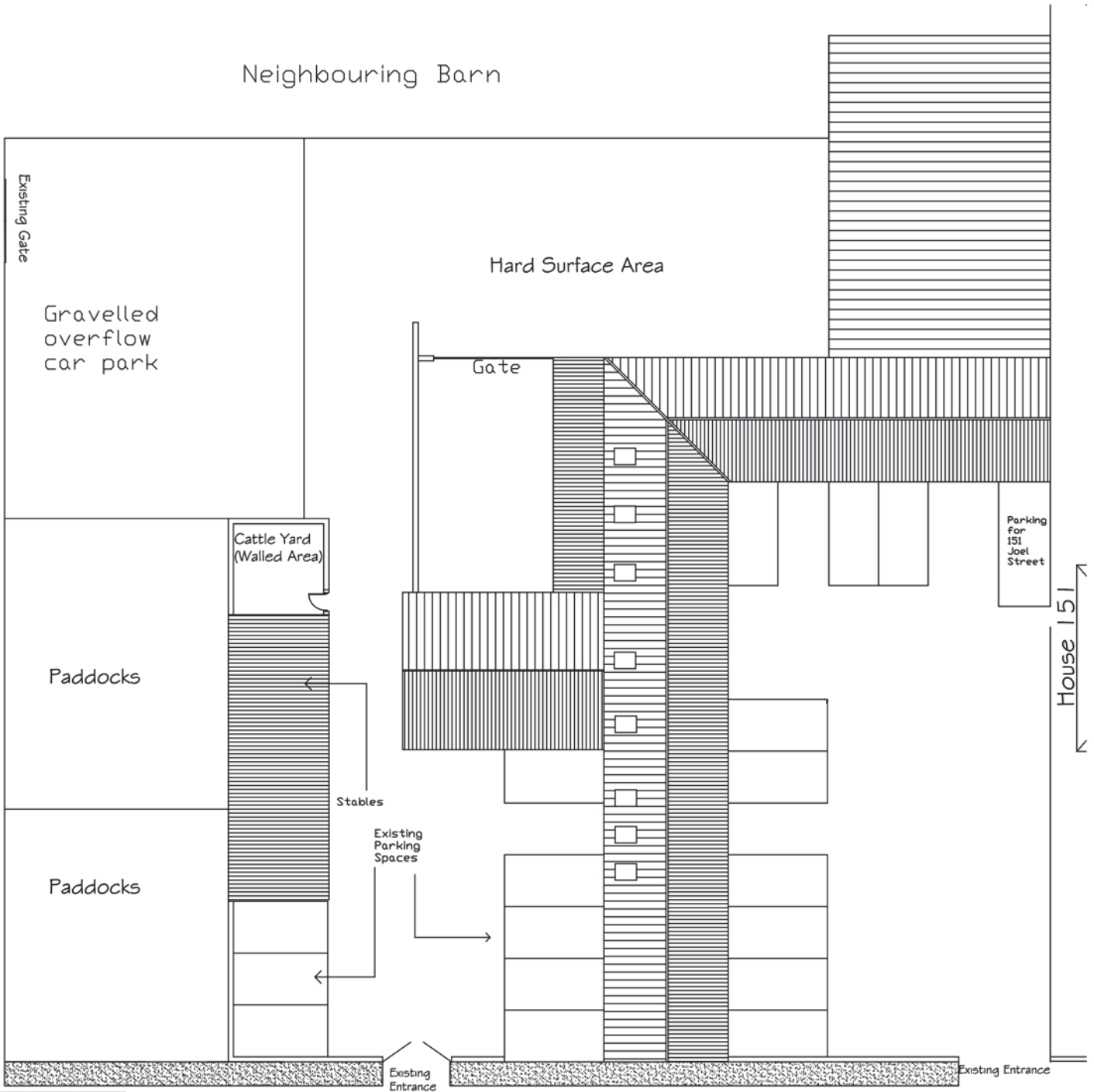


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Neighbouring Barn

The site borders an open land on this boundary

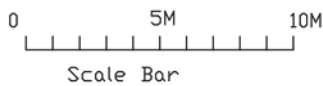


Existing Vehicular Crossover

Existing Vehicle Crossover

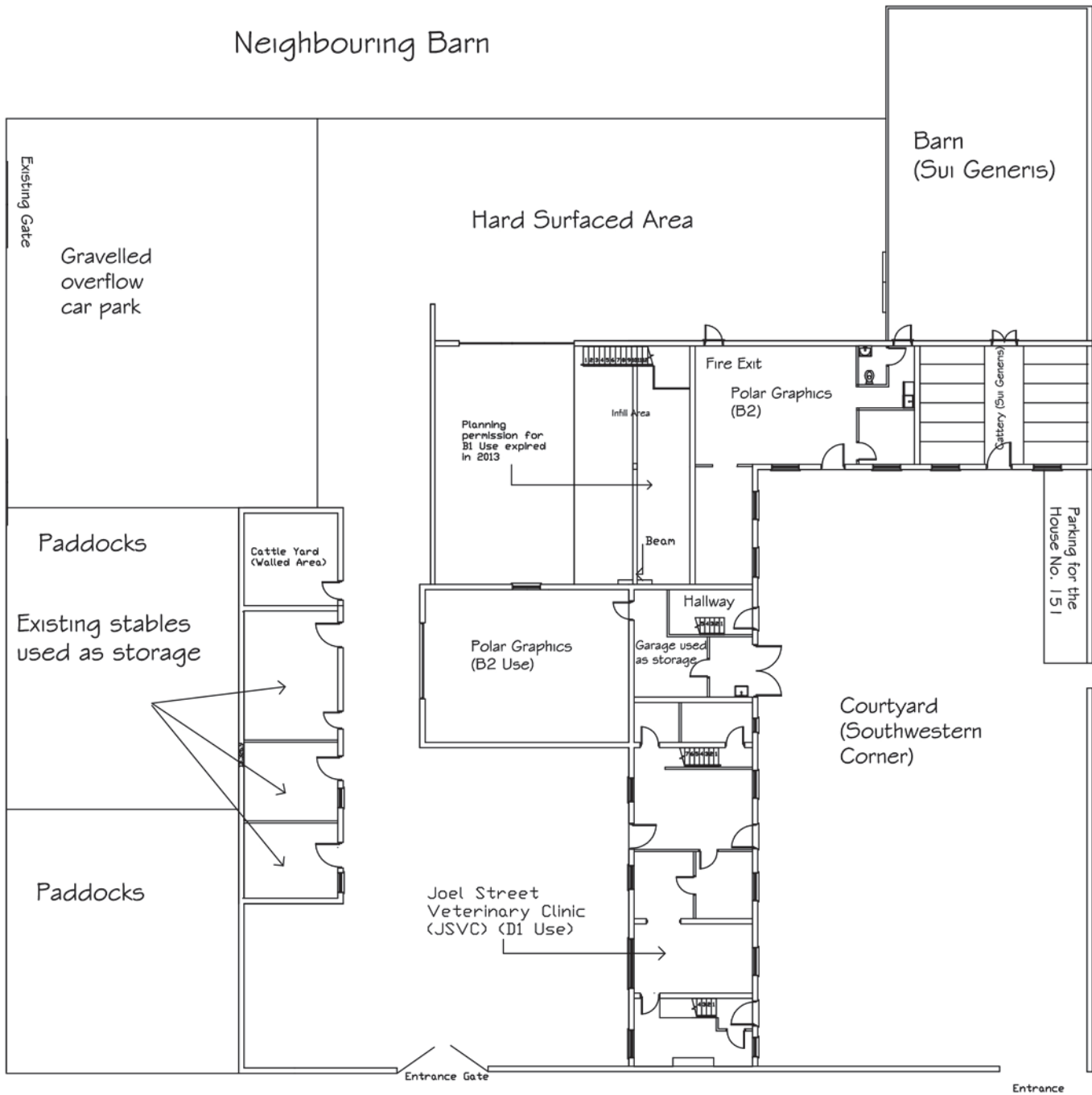
Joel Street

Proposed Block and Roof Plan  
Scale 1:200

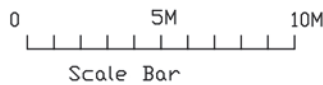


Client <b>Mr. A. J. Ismail</b>	Job <b>Joel Street Farm</b>	Drawn <b>Arya Designs</b>
Site Feb 2015	Scale 1:200	Site No. <b>JSF/003/7</b>
16 The Fairway, South Ruship, Middlesex HA4 0RY MOBILE: 07891 378580 • Email: hareer.arya@gmail.com		
Site No. 26/07/15	Version A	

# Neighbouring Barn

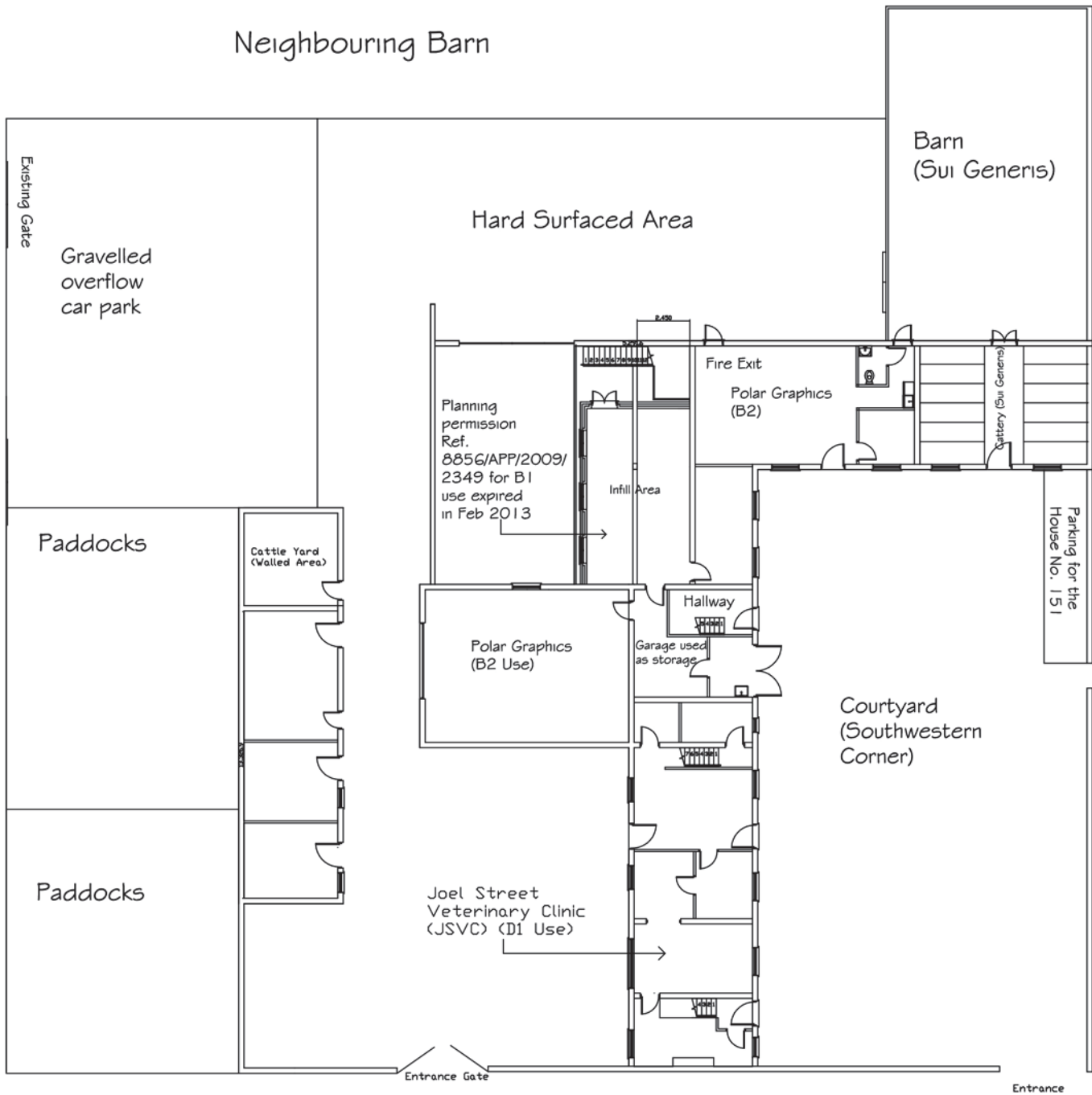


Existing Ground Floor Plan  
Scale 1:200

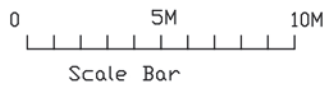


Job	<b>Joel Street Farm</b>
Client	<b>Mr. A. J. Ismail</b>
Drawn	<b>Existing Ground Floor Plan</b>
Date	Feb 2015
Scale	1:200
Proj. No.	<b>JSF/003/2</b>
Drawn by	
Checked by	
Approved by	
Project Manager	
Architect	
Address	<b>16 The Fairway, South Ruislip, Middlesex, HA4 0RY</b>
Mobile	<b>07881 378580 email: hareer.arya@gmail.com</b>
Website	<b>arya-designs.co.uk</b>

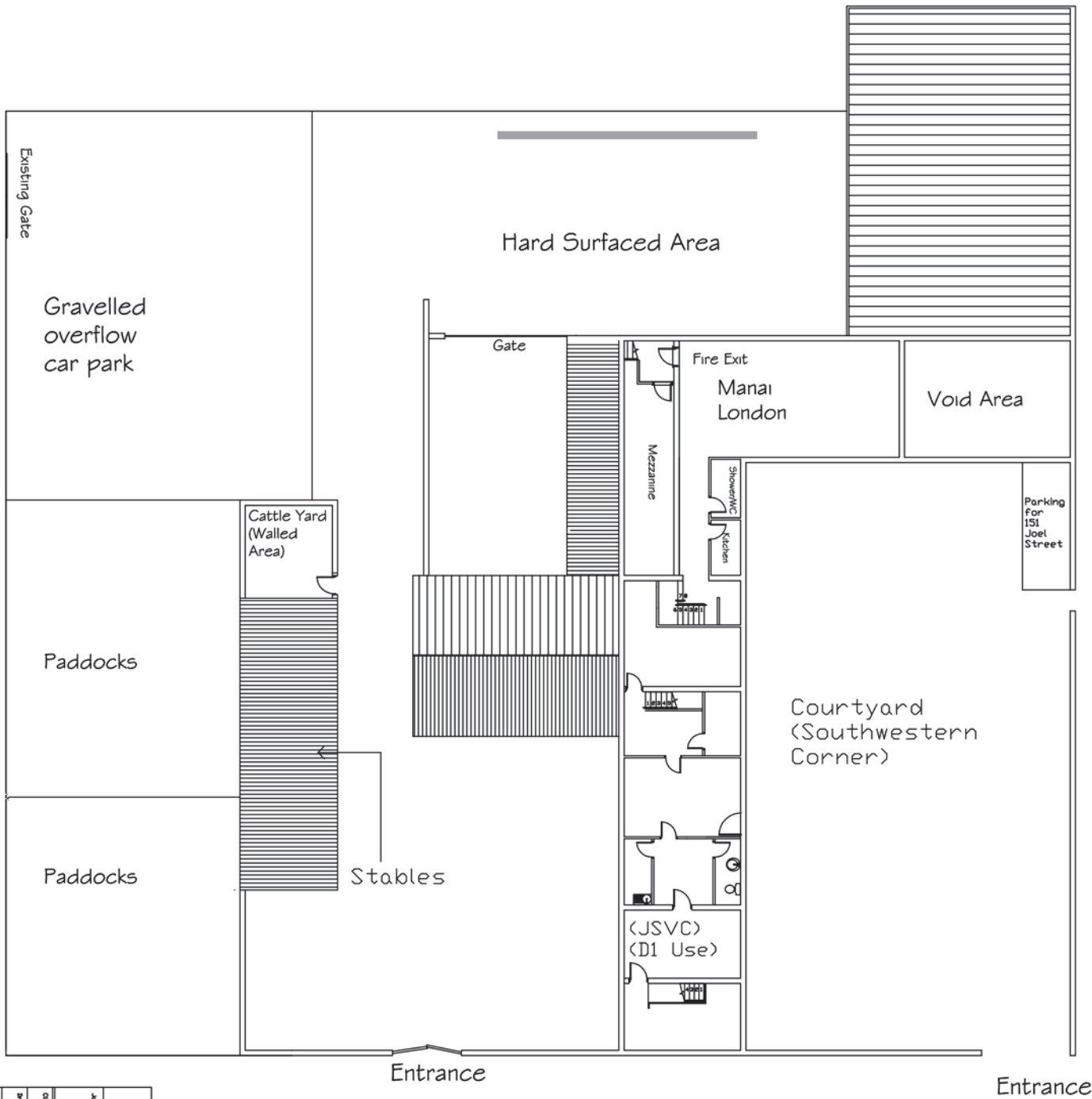
Neighbouring Barn



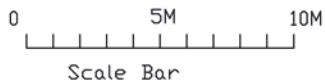
Proposed Ground Floor Plan  
Scale 1:200



Job	<b>Joel Street Farm</b>
Client	<b>Mr. A. J. Ismail</b>
Drawn	<b>Proposed Ground Floor Plan</b>
Date	Feb 2015
Scale	1:200
Proj. No.	<b>JSF/003/3</b>
Drawn by	
Checked by	
Scale	
Revision	
Arya Designs 16 The Fairway, South Ruislip, Middlesex, HA4 0RY MOBILE: 07881 378580 email: hareer.arya@gmail.com	

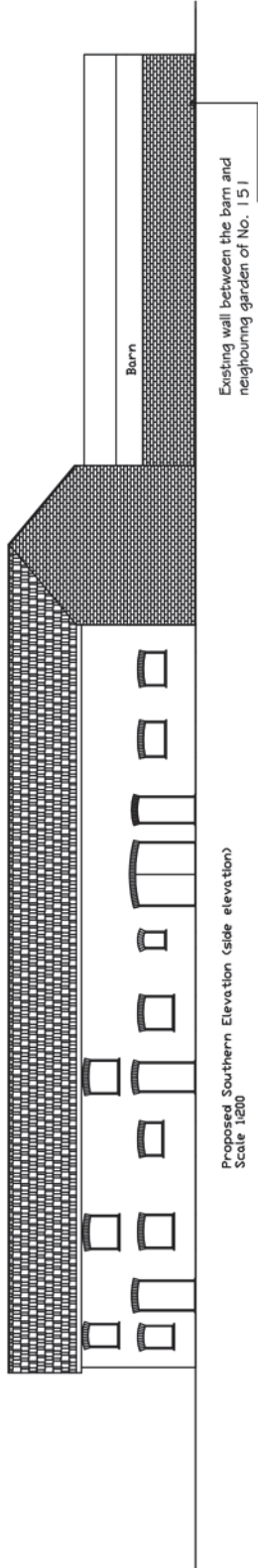


Existing First Floor Plan  
Scale 1:200

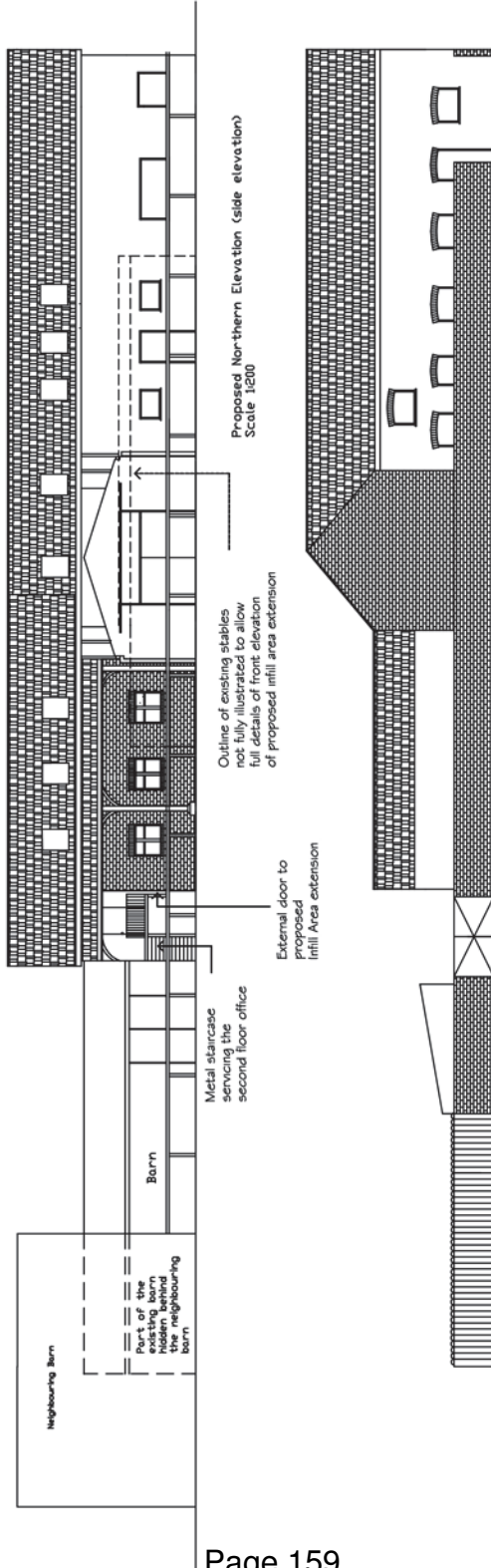


Job	<b>Joel Street Farm</b>		
Client	<b>Mr. A. J. Ismail</b>		
Drawn	<b>Proposed First Floor Plan</b>		
Date	May 2015	Scale	1:200
Drawn	<b>JSF/003/4</b>		
Drawn	Arya Designs 16 The Fairway, South Ruislip, Middlesex HA4 0RY MOBILE: 07891 378580 • Email: hareer.arya@gmail.com		
Date	16/05/2015	Drawn	

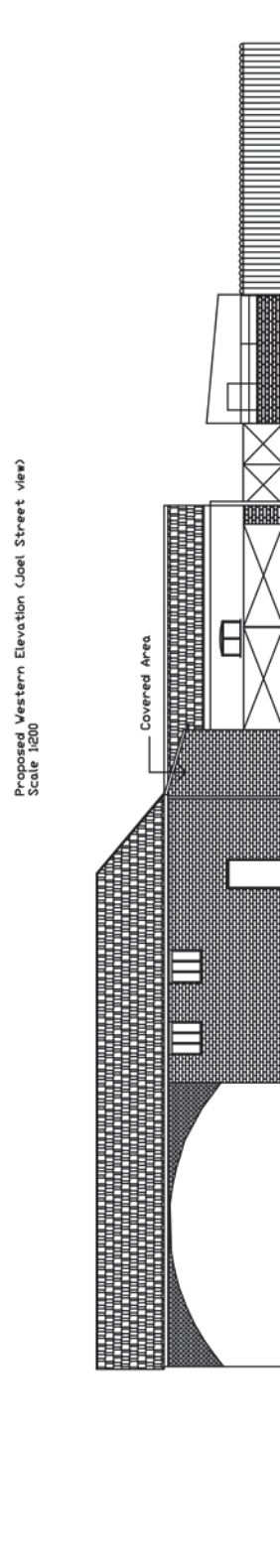




Proposed Southern Elevation (Side elevation)  
Scale 1:200



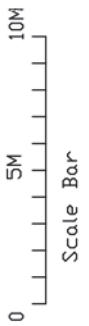
Proposed Northern Elevation (side elevation)  
Scale 1:200



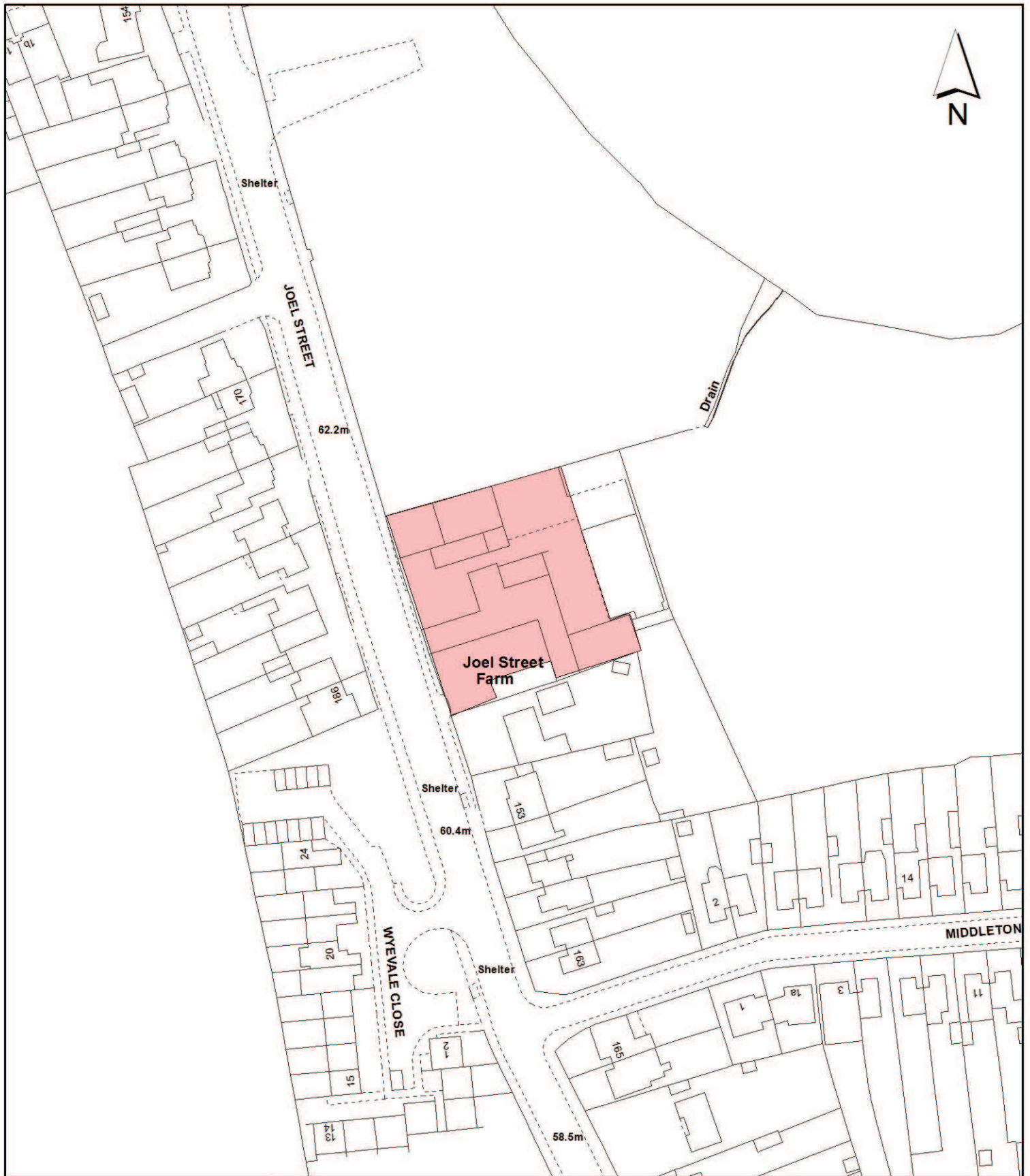
Proposed Western Elevation (Joel Street view)  
Scale 1:200



Proposed Eastern Elevation (rear elevation)  
Scale 1:200



<p><b>Arya Designs</b>          16 The Fairway, South Ruislip, Middlesex HA4 0RY          MOBILE: 07851 378580 - email: hareer.arya@gmail.com</p>		<p>Date: 24/02/2015          Revision: A</p>
<p>Job: <b>Joel Street Farm</b></p>	<p>Client: <b>Mr. A. J. Ismat</b></p>	<p>Drawn: <b>Proposed Elevation</b></p>
<p>Date: Feb 2015</p>	<p>Scale: 1:200</p>	<p>Proj No: <b>JSF/003/6</b></p>



**Notes:**

 Site boundary

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Site Address:

**Joel Street Farm  
 Joel Street  
 Northwood**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:  
**8856/APP/2015/1333**

Scale:  
**1:1,250**

Planning Committee:  
**North** Page 160

Date:  
**July 2015**



## Report of the Head of Planning, Sport and Green Spaces

**Address** 61 HIGH ROAD ICKENHAM

**Development:** 3 x two storey, 3-bed and 3 x two storey, 4-bed terraced dwellings with habitable roofspace with bin store and associated parking, landscaping and amenity space involving demolition of existing office and residential buildings.

**LBH Ref Nos:** 51656/APP/2014/4334

**Date Plans Received:** 09/12/2014  
**Date Application Valid:** 21/01/2015

**Date(s) of Amendment(s):** 09/12/2014  
17/12/2014

**Notes**  
 This drawing to be read in conjunction with all relevant Consultants information, drawings and specifications.  
 All dimensions are in mm unless otherwise stated. All levels are finished floor levels unless otherwise stated.  
 Any discrepancies between drawings, schedules or specifications are to be reported to the Contract Administrator or Architect at once.  
 Do not scale - all dimensions to be checked on site.  
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Rev	Date	Revision



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 +44 (0)7769 907331

**Project**  
 61 & 61A High Road, Ickenham UB10 8LG

**Drawing Title**  
 Existing OS Plan

**Drawn By**  
 LP

**Scale**  
 1:1250 @ A3

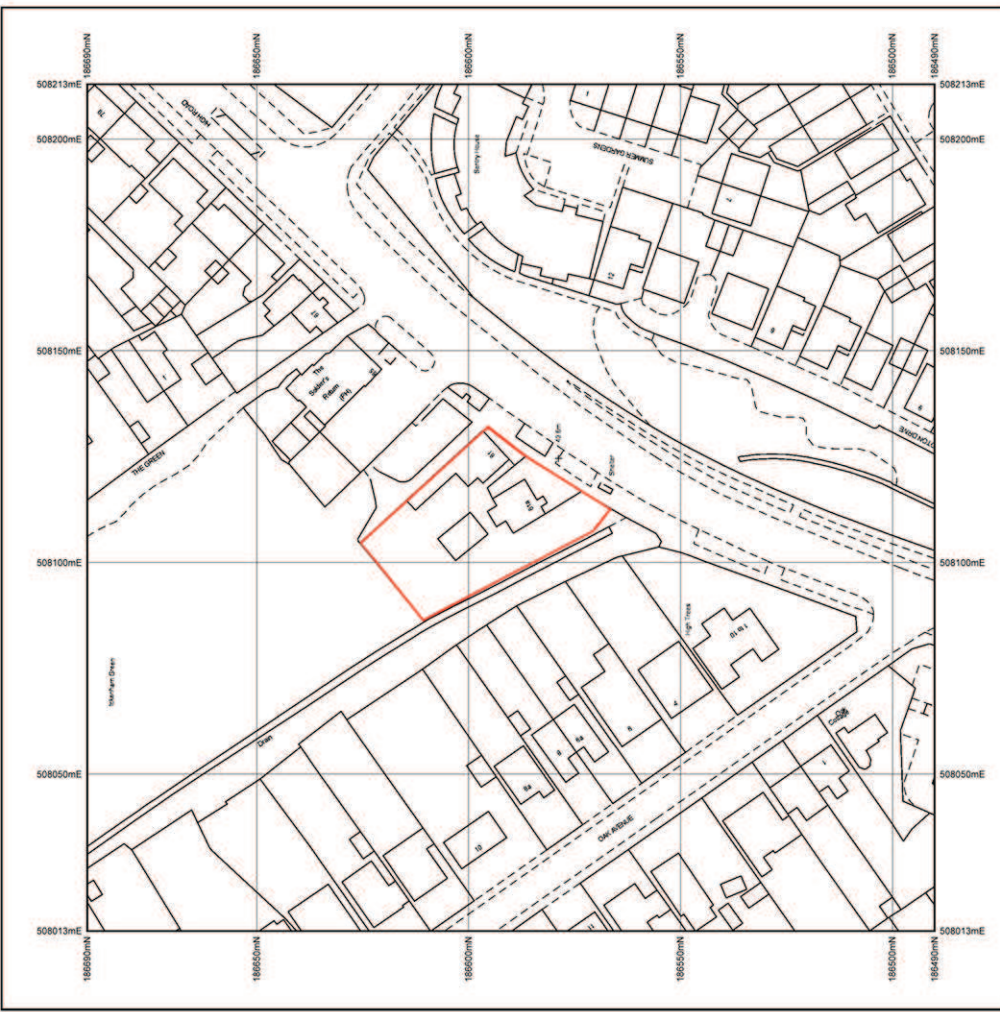
**Project No**  
 13-023

**Drawing Status**  
 Planning

**Date**  
 Nov 2014

**Drawing No**  
 13-023-E01

**Revision**  
 -

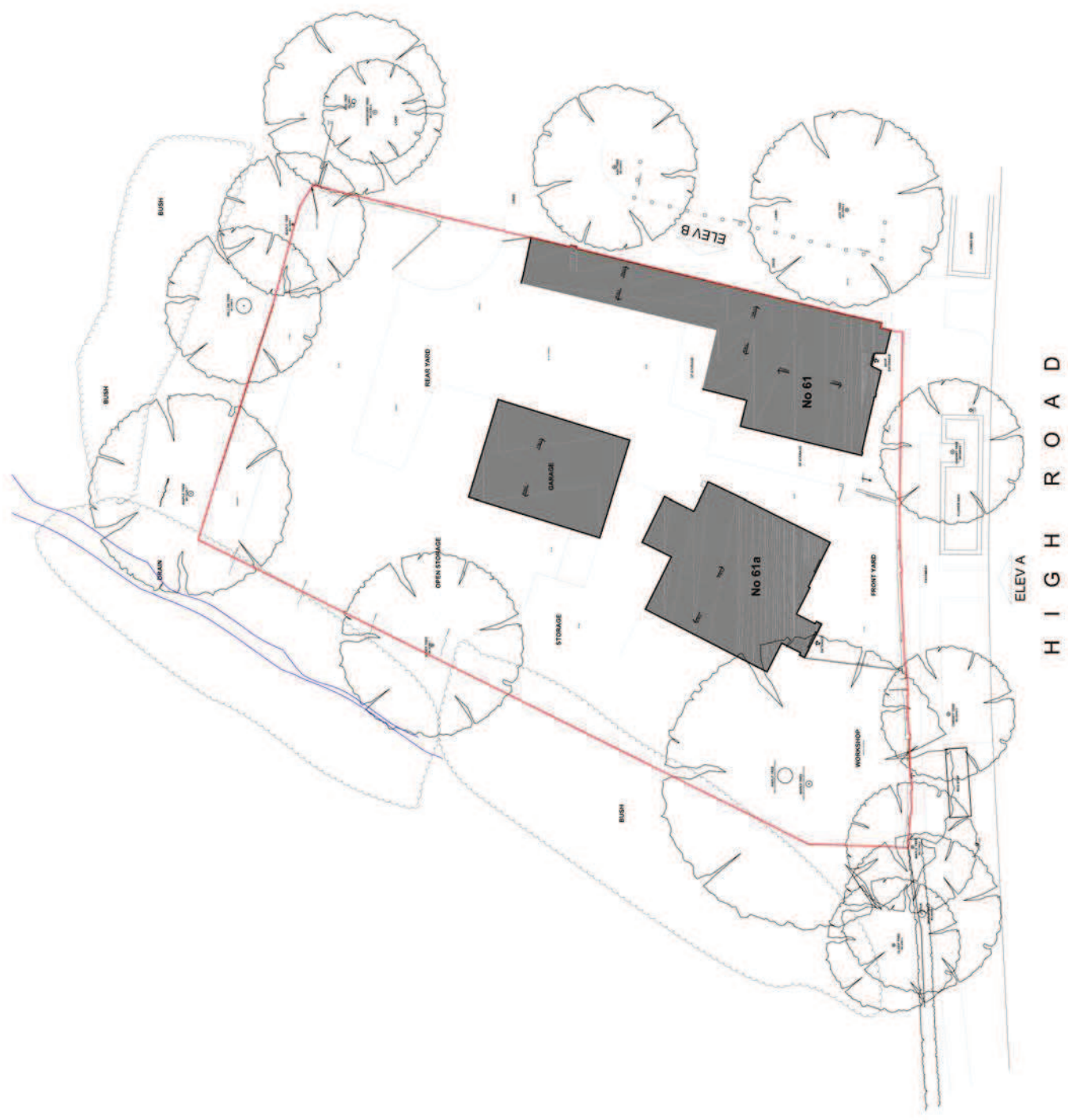


Supplied by: [www.ukmapcentre.com](http://www.ukmapcentre.com)  
 Serial Number: 508113.188590  
 Control Coordinates: 508113.188590  
 Production Date: 17 Dec 2014 10:02

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**Notes:**  
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Rev	Date	Revision



application site boundary

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**Project**  
 61 & 61a High Road, Ickenham UB8 0LG

**Drawing Title**  
 Existing Site Plan

**Drawn By**  
 LP

**Scale**  
 1:200 @ A2

**Project No**  
 13-023

**Drawing Status**  
 Planning

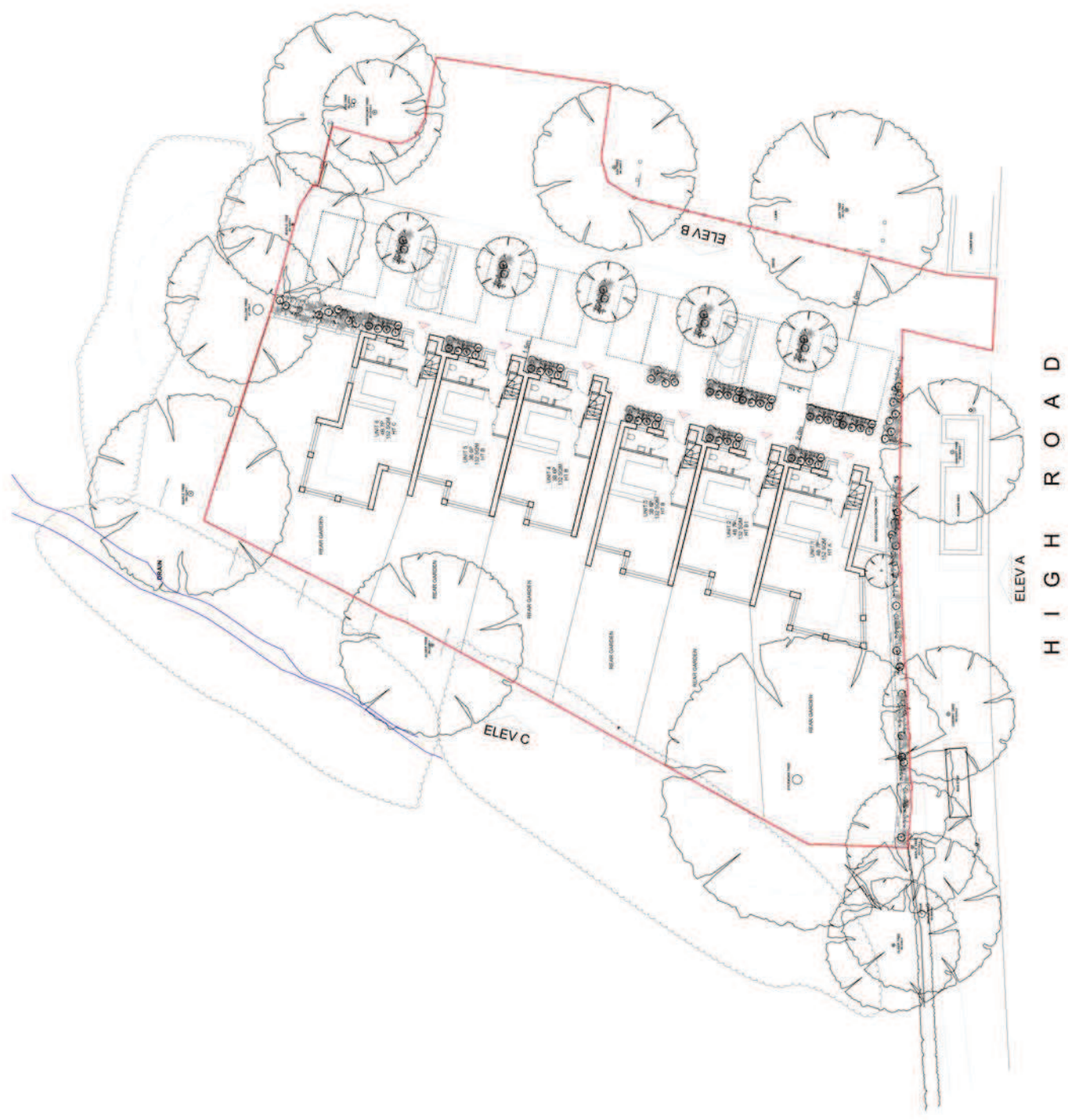
**Date**  
 Aug 2014

**Drawing No**  
 13-023-E02

**Revision**  
 -

**Notes:**  
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 It is intended for use as a guide only and does not constitute a contract.  
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 It is the responsibility of the client to ensure that all relevant permissions are obtained.

Rev	Date	Revision
1	13/11/14	Issue for consultation
2	13/11/14	Issue for consultation
3	13/11/14	Issue for consultation
4	13/11/14	Issue for consultation
5	13/11/14	Issue for consultation



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**Project:**  
 61 & 62A High Road, Ickenham UB8 3RG

**Drawing Title:**  
 Proposed Site Plan

**Drawn By:**  
 LP

**Scale:**  
 1:200 @ A2  
 13-023

**Drawing Status:**  
 Planning

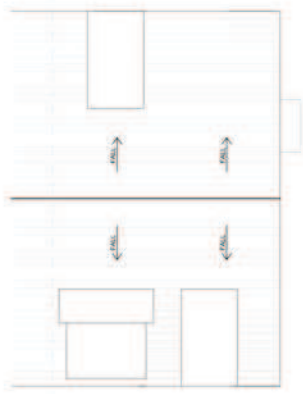
**Date:**  
 Nov 2014

**Drawing No:**  
 13-023-PO1

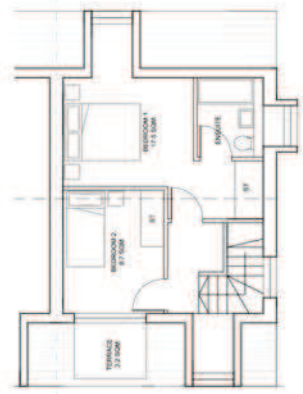
**Revision:**  
 C

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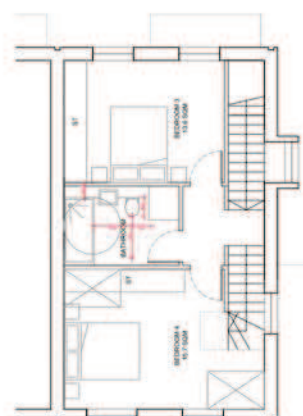
Rev	Date	Revision
1	18/03/14	Issue for planning
2	18/03/14	Issue for building regulations
3	18/03/14	Issue for construction



Proposed Roof Plan



Proposed Loft Floor Plan



Proposed First Floor Plan



Proposed Ground Floor Plan



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**Project**  
 63 & 63A High Road, Ickenham UB10 8JG

**Drawing Title**  
 Proposed Loft Floor Plan  
 (Room Type A - mid terrace)

**Drawn By**  
 J.P.

**Scale**  
 1:100 @ A2  
 13-023

**Project No**  
 13-023

**Drawing Status**  
 Planning

**Date**  
 Nov 2014

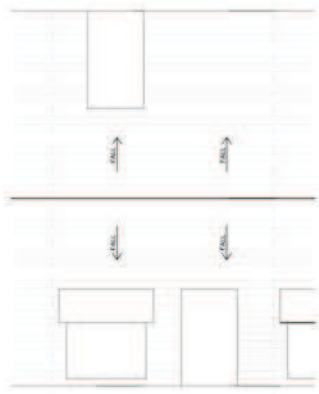
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 13-023-P02

**Revision**  
 C

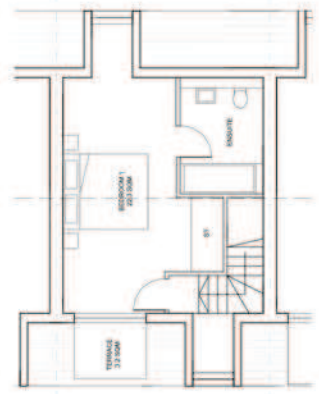
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Rev	Date	Revision
1	18/11/14	Issue for planning
2	18/11/14	Issue for planning
3	18/11/14	Issue for planning
4	18/11/14	Issue for planning
5	18/11/14	Issue for planning

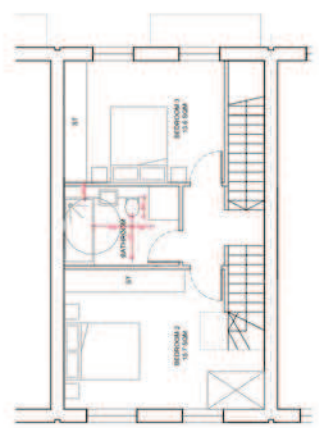
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Proposed Roof Plan



Proposed Loft Floor Plan



Proposed First Floor Plan



Proposed Ground Floor Plan



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**Project**  
 63 & 63A High Road, Ickenham UB10 8JG

Drawing Title	Drawn By
Proposed Loft Floor Plan (Hoxton Type B - mid terrace)	JP

Scale	Project No
1:100 @ A2	13-023

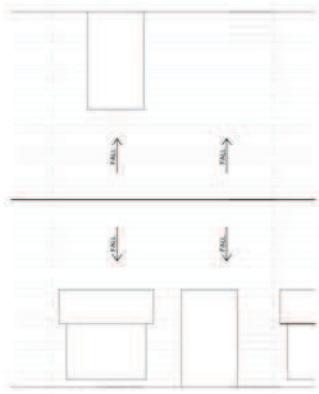
Drawing Status	Date
Planning	Nov 2014

Drawing No	Revision
13-023-P03	C

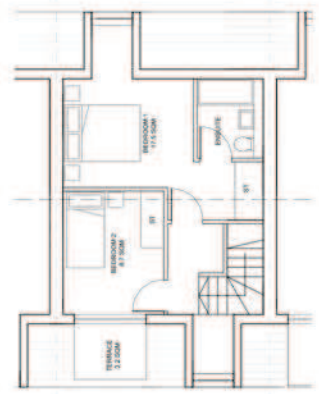


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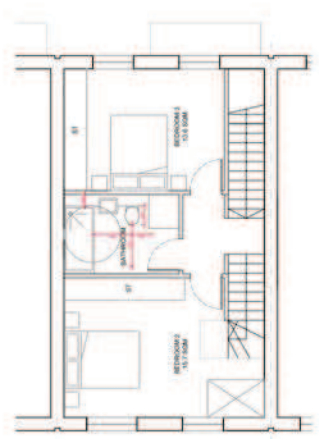
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1	18/03/14	Issue for planning
2	18/03/14	Issue for building regulations
3	18/03/14	Issue for construction
4	18/03/14	Issue for completion



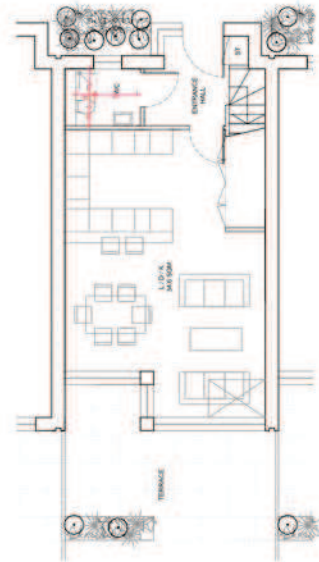
Proposed Roof Plan



Proposed Loft Floor Plan



Proposed First Floor Plan



Proposed Ground Floor Plan



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**Project**  
 63 & 63A High Road, Ickenham UB10 8JG

**Drawing Title**  
 Proposed Loft Floor Plan  
 (House Type B1 - mid terrace)

**Drawn By**  
 J.P.

**Scale**  
 1:100 @ A2  
 13-023

**Project No**  
 13-023

**Drawing Status**  
 Planning

**Date**  
 Nov 2014

**Drawing No**  
 13-023-POB

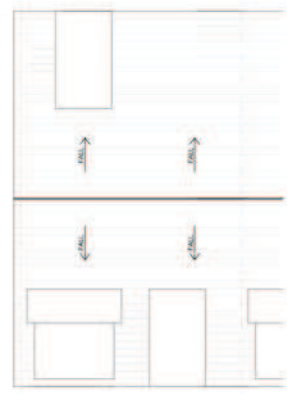
**Revision**  
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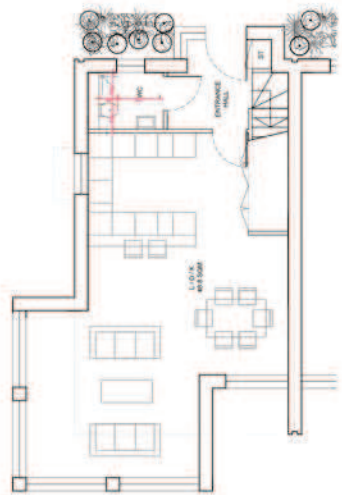
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2	18/11/14	Issue for planning
3	18/11/14	Issue for planning
4	18/11/14	Issue for planning



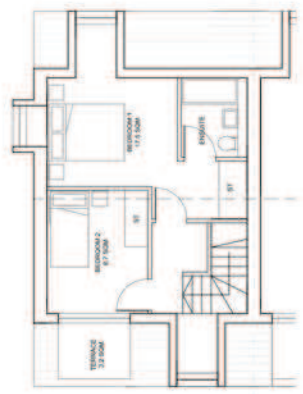
Proposed First Floor Plan



Proposed Roof Plan



Proposed Ground Floor Plan



Proposed Loft Floor Plan



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**Project**  
 63 & 63A High Road, Ickenham UB10 8JG

**Drawing Title**  
 Proposed Loft Floor Plan  
 (Hoxton Type C - end terrace)

**Drawn By**  
 J.P.

**Scale**  
 1:100 @ A2  
 13-023

**Project No**  
 13-023

**Drawing Status**  
 Planning

**Date**  
 Nov 2014

**Drawing No**  
 13-023-P04

**Revision**  
 C

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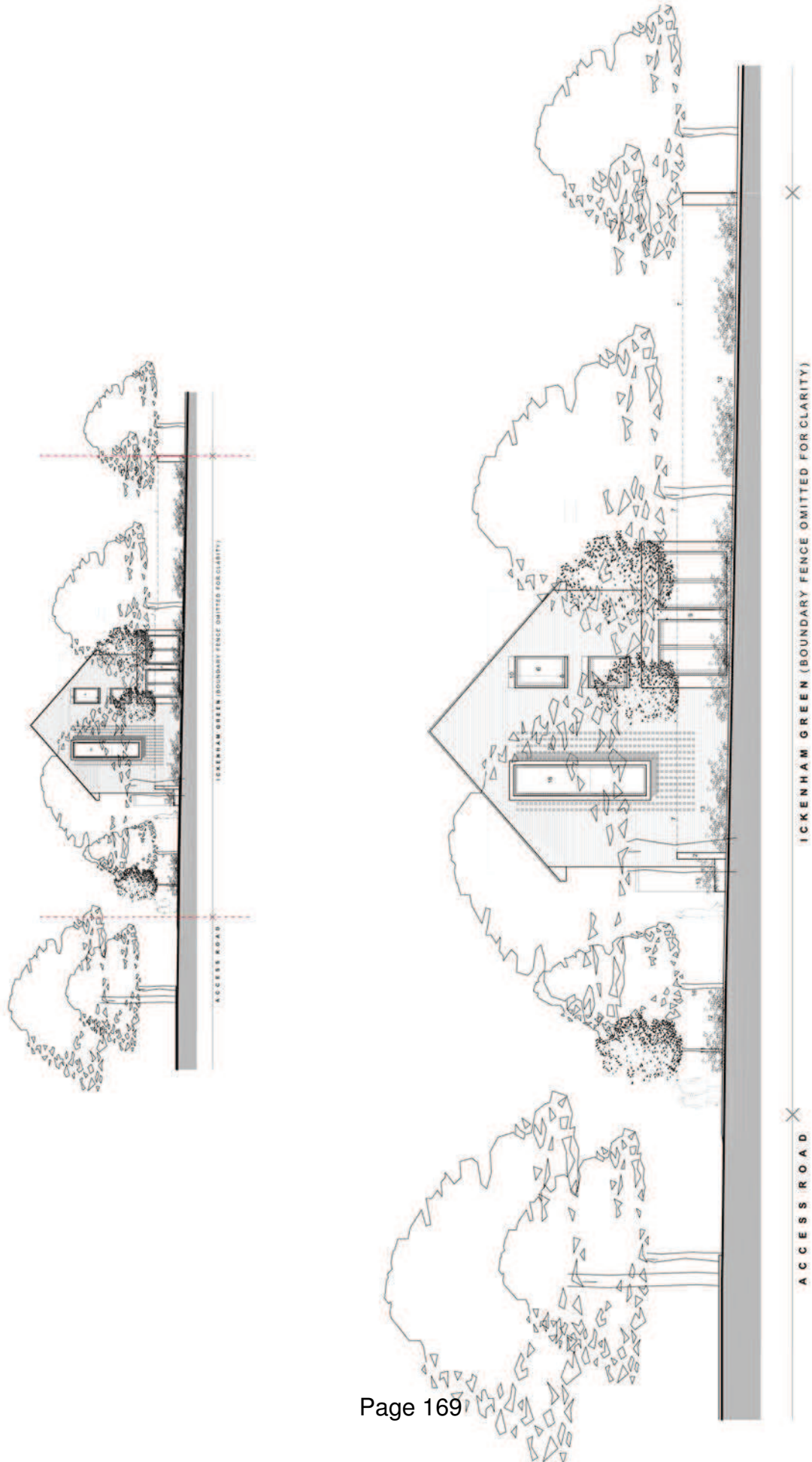
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- 1 brickwork
- 2 brick boundary wall
- 3 plaster boundary
- 4 stone concrete call
- 5 composite window
- 6 aluminium fence
- 7 dormer window
- 8 light grey render
- 9 new free
- 10 new free
- 11 new free
- 12 new free
- 13 new free
- 14 new free
- 15 new free
- 16 new free
- 17 new free
- 18 new free
- 19 new free
- 20 new free
- 21 new free



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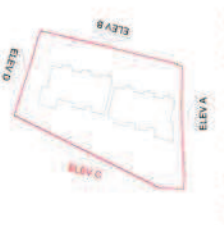
Project	
61 & 63A High Road, Ickenham UB8 3RG	
Drawing Title	
Proposed North-East Facing Elevation (along Ickenham Green)	
Scale	
1:100/200 @ A2	13-023
Drawing Status	
Planning	Nov 2014
Drawing No	
13-023-P08	C



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Rev	Date	Revision
1	13/03/2024	Issue for planning
2	13/03/2024	Issue for planning
3	13/03/2024	Issue for planning
4	13/03/2024	Issue for planning
5	13/03/2024	Issue for planning
6	13/03/2024	Issue for planning
7	13/03/2024	Issue for planning
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11	13/03/2024	Issue for planning
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14	13/03/2024	Issue for planning
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18	13/03/2024	Issue for planning
19	13/03/2024	Issue for planning
20	13/03/2024	Issue for planning
21	13/03/2024	Issue for planning

- 1 brickwork
- 2 brick boundary wall
- 3 plaster boundary
- 4 stone concrete call
- 5 composite window
- 6 aluminium fence
- 7 dormer window
- 8 light grey render
- 9 new tree
- 10 new tree
- 11 new tree
- 12 landscaping
- 13 landscaping
- 14 landscaping
- 15 landscaping
- 16 landscaping
- 17 existing landscape buffer
- 18 existing landscape buffer
- 19 existing landscape buffer
- 20 recessed brick pattern
- 21 access slab



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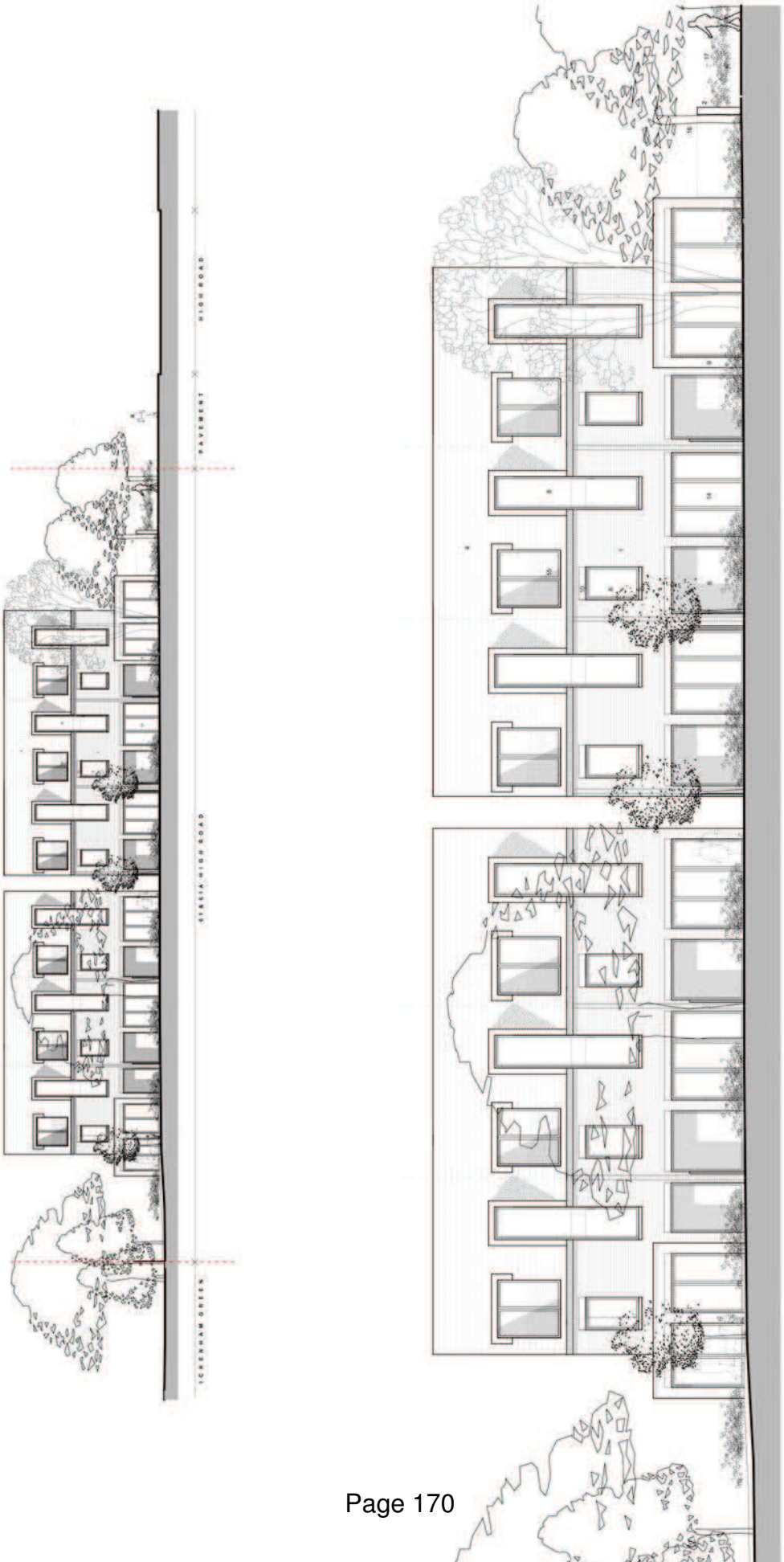
**Project**  
 61 & 61A High Road, Ickenham UB8 3EG

Drawing Title	Drawn By
Proposed North-West Facing Elevation (Elev C)	LP

Scale	Project No
1:100/200 @ A2	13-023

Drawing Status	Date
Planning	Nov 2024

Drawing No	Revision
13-023-P07	C



61 & 61A HIGH ROAD

Elevation C  
 Proposed North-West Facing Elevation (Rear of houses)

**Notes:**  
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 2. All dimensions are in millimetres unless otherwise stated.  
 3. All drawings are to be read in conjunction with the relevant specifications.  
 4. All drawings are to be read in conjunction with the relevant specifications.  
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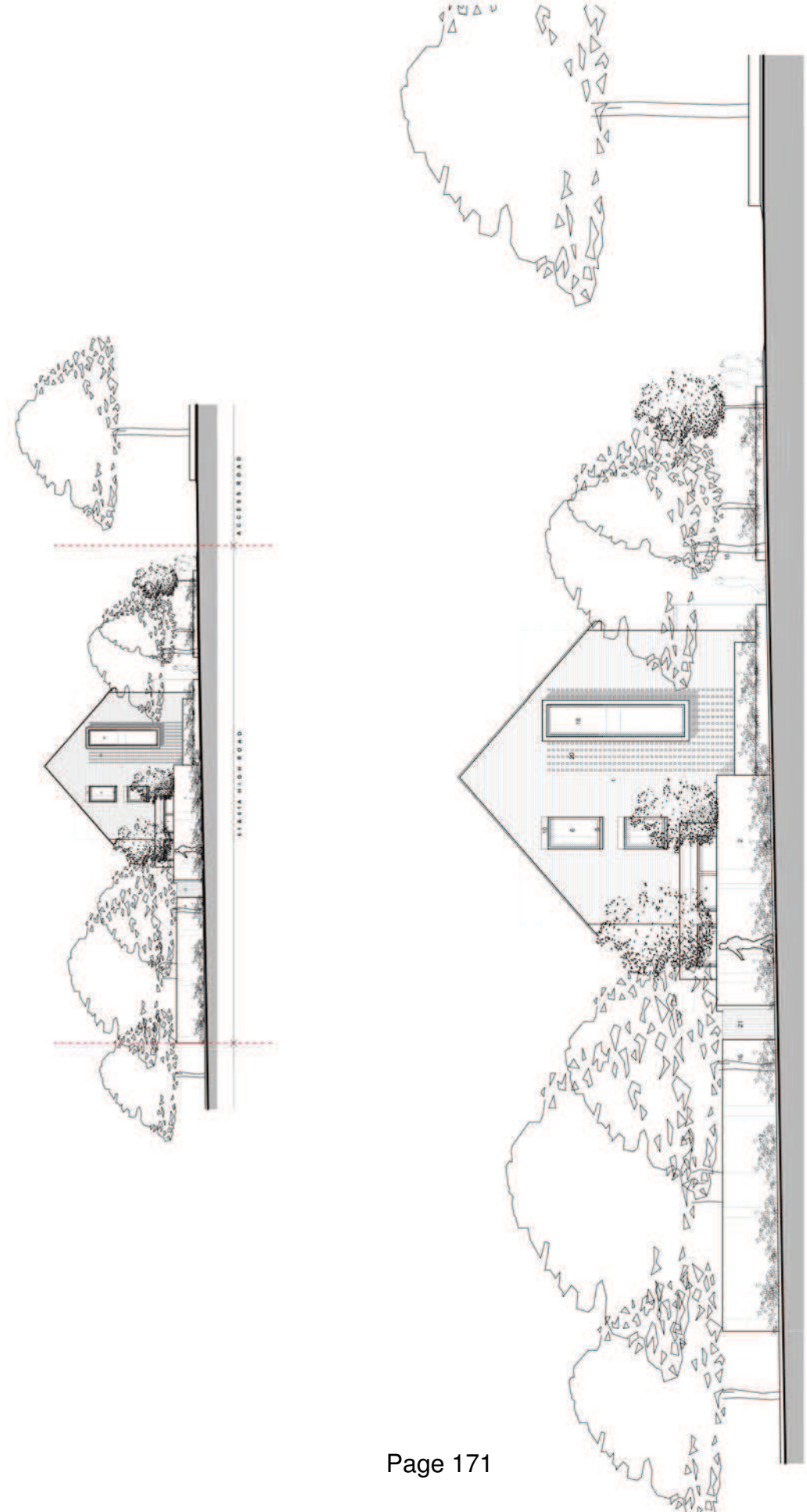
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- 1 brickwork
- 2 brick boundary wall
- 3 painted boundary
- 4 stone concrete call
- 5 composite window
- 6 composite window
- 7 downer window
- 8 light grey window frame
- 9 new tree
- 10 new tree
- 11 new tree
- 12 new tree
- 13 new tree
- 14 bi-cladding floor
- 15 existing landscape buffer
- 16 existing landscape buffer
- 17 existing landscape buffer
- 18 existing landscape buffer
- 19 existing landscape buffer
- 20 recessed brick pattern
- 21 recessed brick pattern



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Project	Drawing Title	Drawn By
61 & 61A High Road, Ickenham UB8 3LG	Proposed South-East Facing Elevation (Elev A)	LP
	Scale	Project No
	1:100/200 @ A2	13-023
	Drawing Status	Date
	Planning	Nov 2014
	Drawing No	Revision
	13-023-P05	C



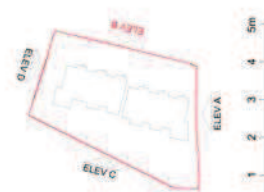
61 & 61A HIGH ROAD

Elevation A  
 Proposed South-East Facing Elevation (along the High Road)

**Notes:**  
 1. This drawing is to be read in conjunction with all relevant Conditions of Sale, Planning and Building Regulations.  
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 3. All dimensions are to be taken from the finished ground level unless otherwise stated.  
 4. All dimensions are to be taken from the finished ground level unless otherwise stated.  
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 21. All dimensions are to be taken from the finished ground level unless otherwise stated.

Rev	Date	Revision
1		Issue for planning
2		Issue for building regulations
3		Issue for construction
4		Issue for completion
5		Issue for final sign-off

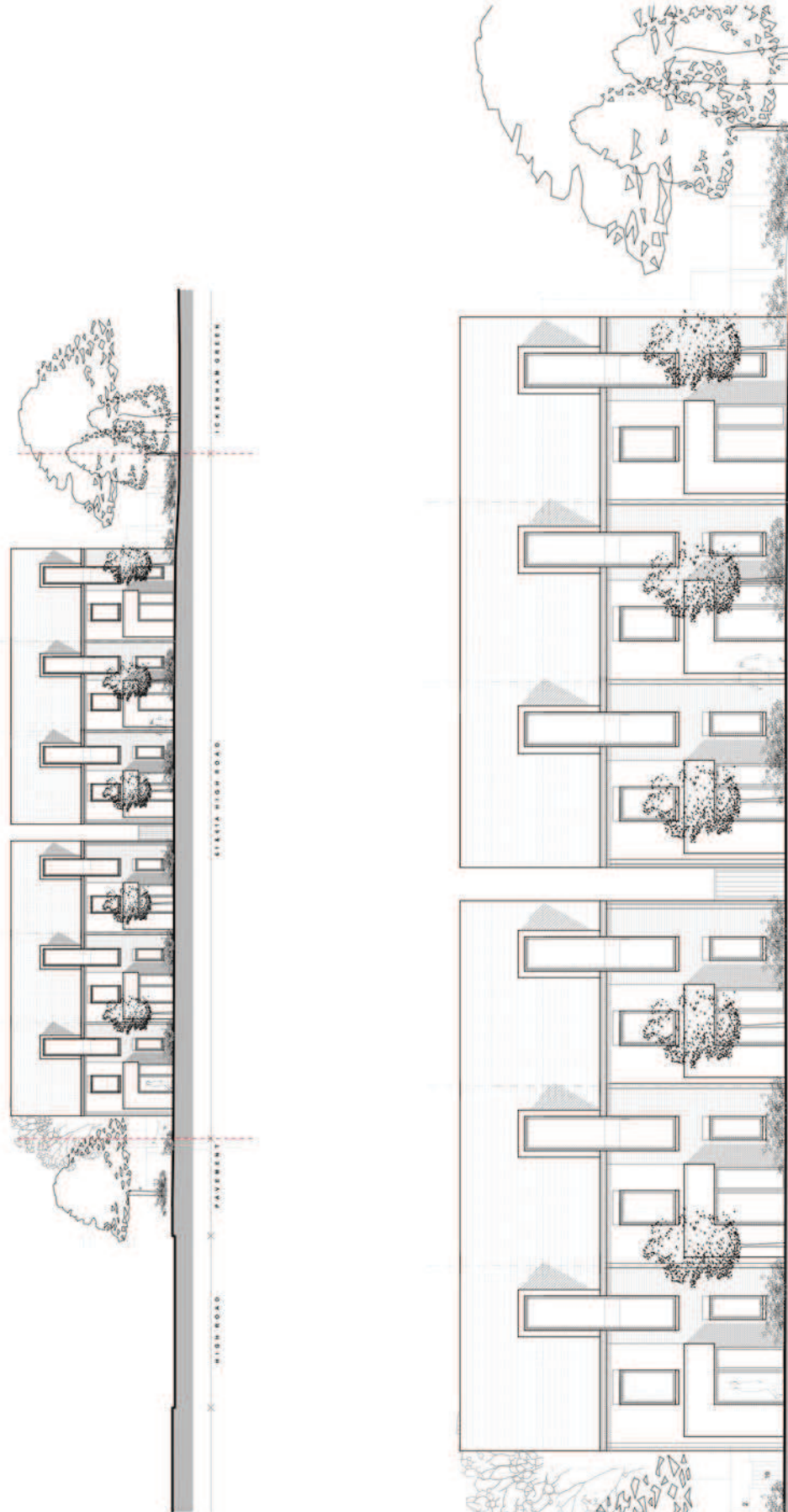
- 1 brickwork
- 2 brick & render
- 3 painted boundary
- 4 stone or grey slate tile
- 5 composite window
- 6 composite window
- 7 composite window
- 8 composite window
- 9 light grey render
- 10 light grey render
- 11 light grey render
- 12 soft landscaping
- 13 soft landscaping
- 14 soft landscaping
- 15 soft landscaping
- 16 soft landscaping
- 17 soft landscaping
- 18 soft landscaping
- 19 soft landscaping
- 20 soft landscaping
- 21 access gate



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 +44 (0)7769 907311

**Project:**  
 61 & 61A High Road, Ickenham UB8 3RG

<b>Drawing Title</b>	<b>Drawn By</b>
Proposed South-West Facing Elevation (Elev B)	LP
<b>Scale</b>	<b>Project No</b>
1:100/200 @ A2	13-023
<b>Drawing Status</b>	<b>Date</b>
Planning	Nov 2014
<b>Drawing No</b>	<b>Revision</b>
13-023-P06	C



P A V E M E N T X 61 & 61A HIGH ROAD X I C K E N

**Elevation B**  
 Proposed South-West Facing Elevation (along the access road to Ickenham Green)

**Deep Root Partners L.P.**  
 530 Washington Street  
 San Francisco, California 94111  
 Ph. 415 781-9700  
 www.deeproot.com

Urban Trees and Soils  
 1915 Chestnut Street  
 Philadelphia, PA 19103  
 Ph. 410 263-4838

The Kestrel Design Group  
 5136 Hankerson Ave. Suite 1  
 Edina MN 55436  
 Ph. 952-928-9689  
 www.kestrelgroup.com

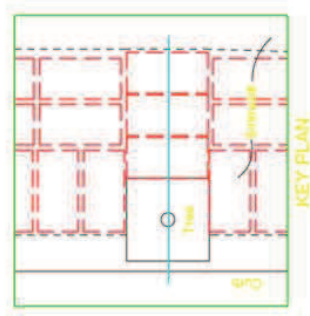
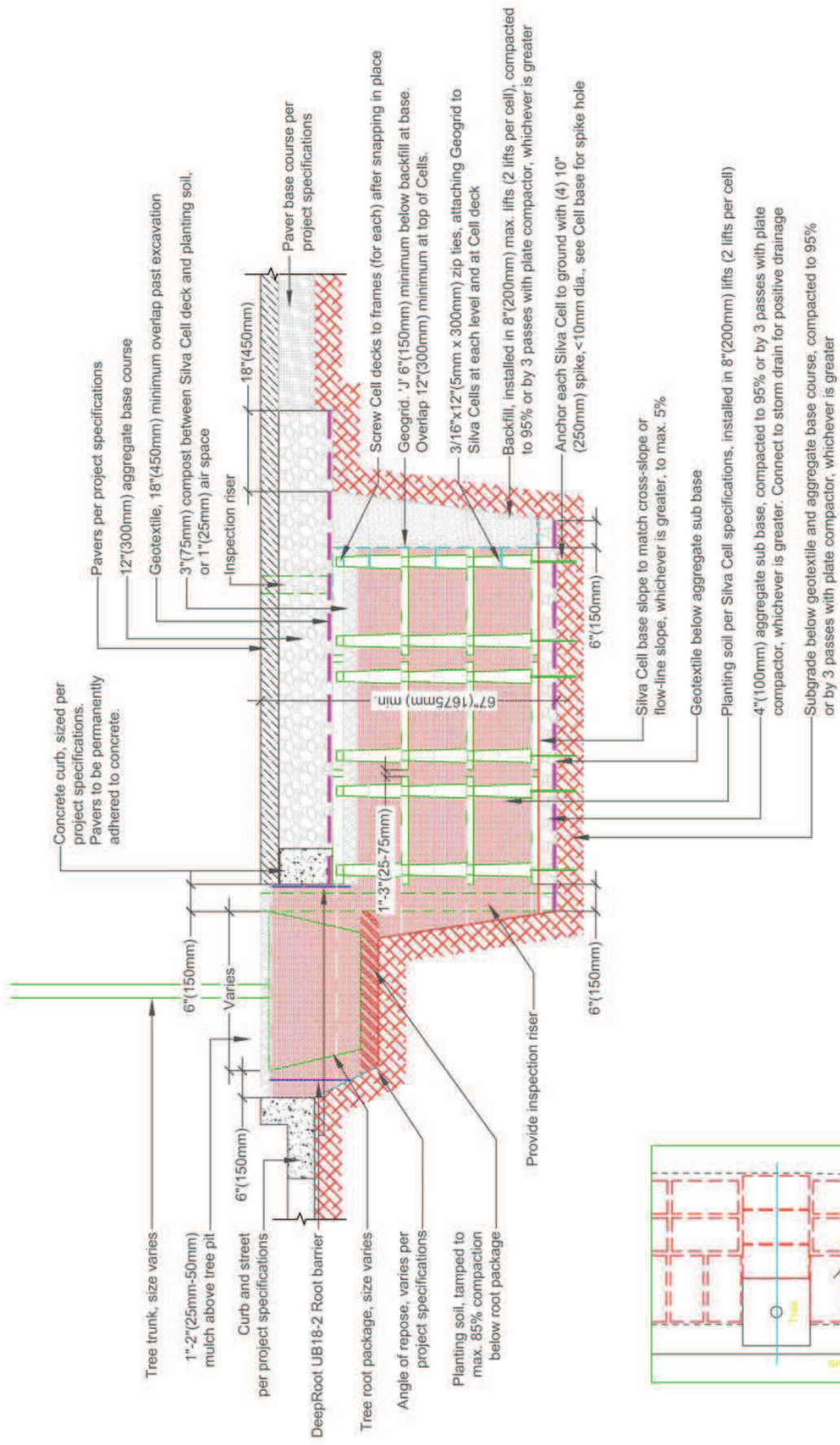
Project No: 07337  
 Drawn by: MDH  
 Checked by: PN, NH  
 Date: 11.10.07

Revisions:  
 2. 08/11/07 - MSH - DeepRoot Enhance 1



# Silva Cells for Trees

Paver Detail over  
 3-layers of Silva Cells  
**P-3.1**



**NOTES:**  
 1. Installation to be completed in accordance with manufacturer's specifications.  
 2. Do not scale drawings

**Legend**

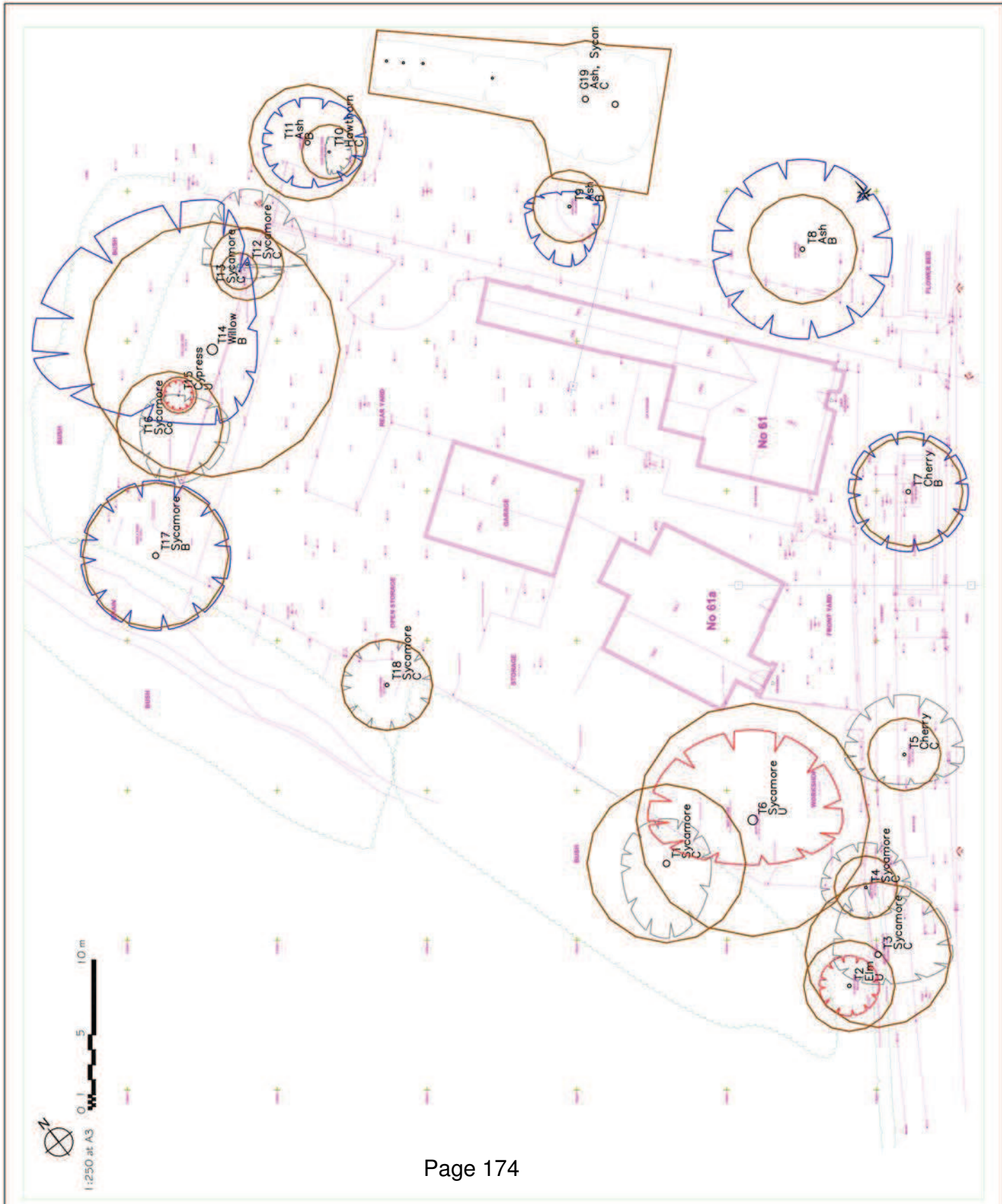
- Red Protection Area
- Category A tree  
Those of high  
quality and  
value
- Category B tree  
Those of  
quality and  
value
- Category C tree  
Those of low  
value
- Category U tree. Likely to have a  
Site Users' Life Expectancy of  
years irrespective of  
assessment.
- Not inspected

Notes  
 Please report existing site post  
 Drilling No. J2285-231  
 Also, please refer to  
 Treekeepers report ref  
 2222424

Project	91 and 91A High Road Hokitika MB 10 98.03
Tree	Tree Consultancy Plan

Date	07/10/19
Drawn by	R508TCP
Reviewed by	RI

**tree VENTURES**  
 Tree Consultancy Limited  
 488 2/23 Malvern Street/Corner  
 Edinburgh Court, Richmond Hill, 6022 489  
 Tel: 0800 111 088 Fax: 07774 811 003





**Legend**

**Root Protection Area**

- Category A tree: High priority, high value
- Category B tree: Those of high quality and value
- Category C tree: Those of low value
- Category L1 tree: Likely to have a Site Users Life Expectancy of 10 years or more irrespective of size
- Not inspected
- BS 5837 Protective Fencing

**Replacement Trees**

- Trees to be retained
- Trees to be removed

**Notes**

Boundary treatment within 50% of retained trees to consist of 1.5m screens. Posts to be connected by hand and secured a route over, chain or stainless steel reinforcement.

Existing walls retained to protect the 80% of retained trees during construction process. Walls will only be removed under abnormal circumstances and after all retained works are completed or to fix subsidence problems with permeable retaining courses for parking spaces indicated by blue line hatching.

It will be necessary to excavate before working at T11 to be located for the project and to install a 600mm deep trench with the height of the existing site sub-base) trench will be excavated until results accompanied with the test hole to the edge of the excavation with a sharp turn of concrete to the existing addition of a machine bucket. Any voids will be 250mm in diameter with be temporarily excavated with being broken. An impermeable membrane will be laid at the base and sides of the excavation to reduce the risk of soil contamination from soil concrete.

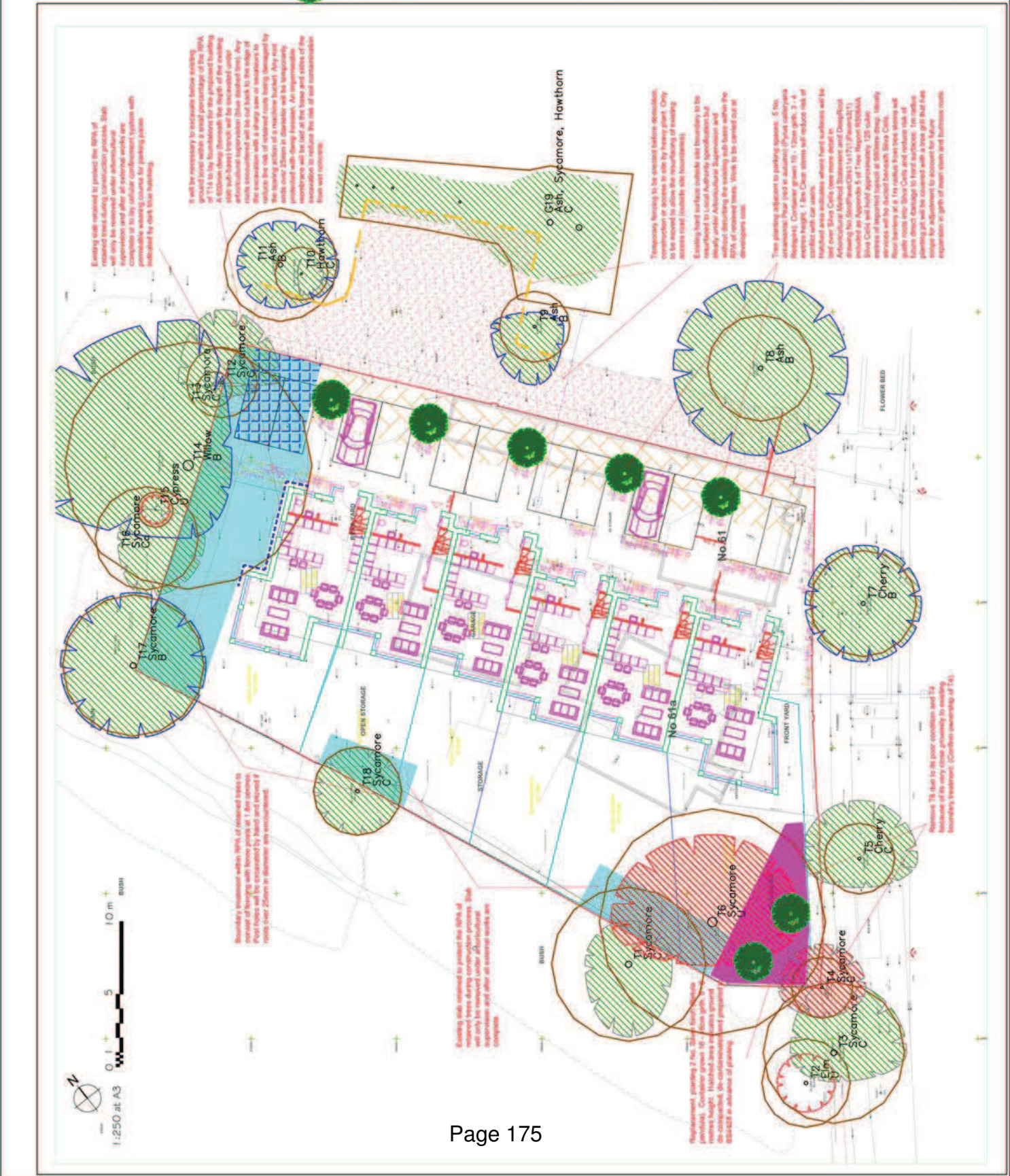
Temporary fencing to be erected before excavation to be removed to allow the re-opening of existing access road (outside site boundaries).

Existing trees and those outside the boundary to be retained by Local Authority specification and without disturbing the existing sub-base within the RPA of retained trees. Work to be carried out at developer's risk.

These planting objectives to parking spaces: 5 trees maximum. Four trees to autumn (Plant category A or B) and one tree to winter (Plant category C) with a height of 1.5m. One tree to be planted in the center of parking spaces and one to be planted at the edge of parking spaces. All trees to be planted in the center of parking spaces and one to be planted at the edge of parking spaces. All trees to be planted in the center of parking spaces and one to be planted at the edge of parking spaces.

Replacement planting of No. 61a will be carried out in accordance with the following: 1.5m high, 1.5m wide, 1.5m deep. Hatched areas indicate ground to be excavated. BS 5837 in addition of parking.

Because T8, due to its poor condition and T4, because of its very close proximity to existing boundary treatment, (Condition over-rip at T4).

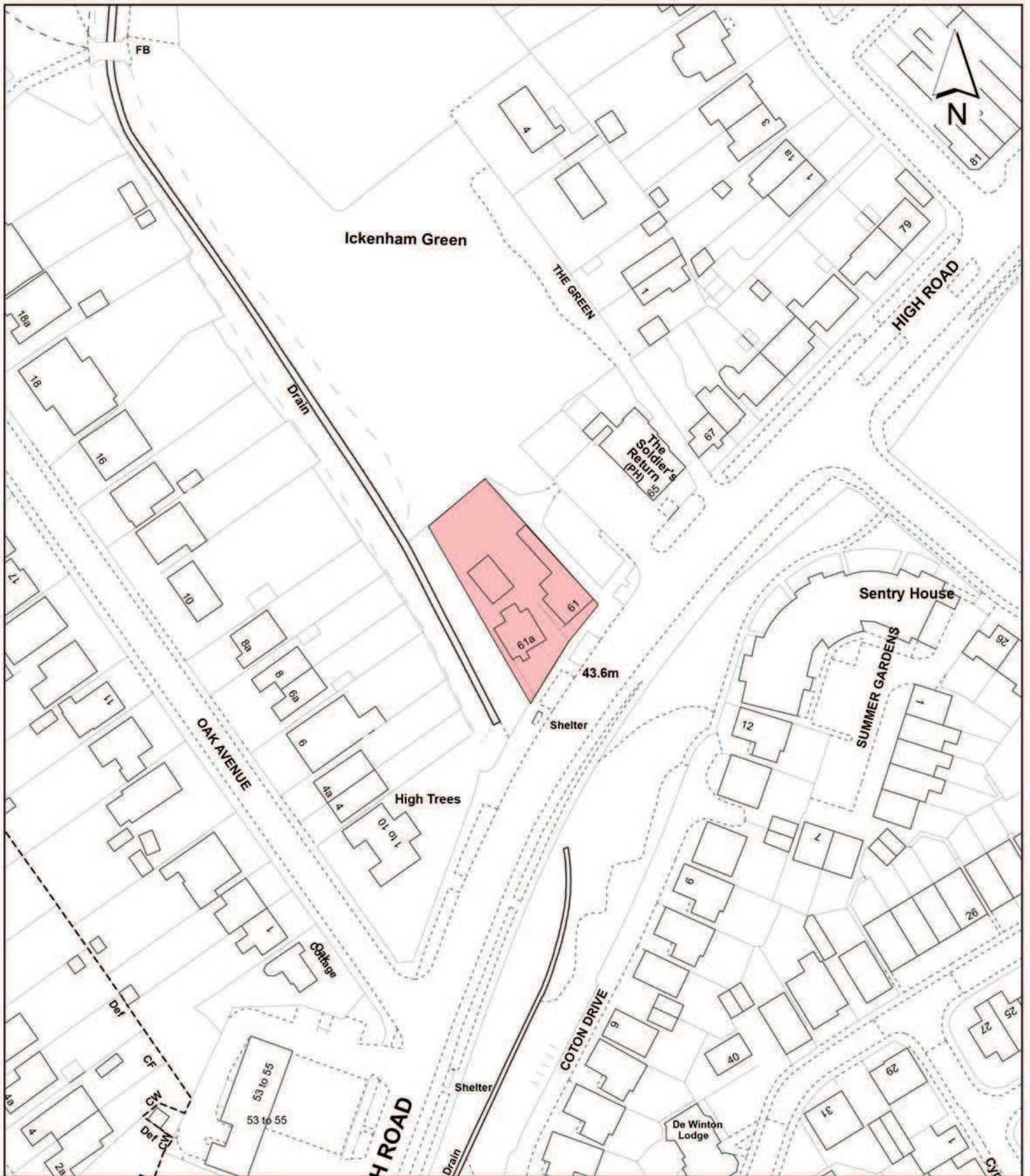


**tree ventures**

Tree Ventures Limited  
 149 2 23 Malvern Elvaston Centre  
 Enterprise Chain Roadworks, A6300 4897  
 TEL: 01527 710 088 FAX: 01527 711 022

Project: 91 and 91A, High Road, Inkermann, LB1 1B 5G

Date: 07-10-19  
 Drawing No: 12500 at A3  
 Drawing Title: Tree Protection Plan  
 Drawing No: R0807P



**Notes:**

 Site boundary

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Site Address:

**61 & 61A High Road  
 Ickenham**

**LONDON BOROUGH  
 OF HILLINGDON**  
 Residents Services  
 Planning Section  
 Civic Centre, Uxbridge, Middx. UB8 1UW  
 Telephone No.: Uxbridge 250111

Planning Application Ref:  
**51656/APP/2014/4334**

Scale:  
**1:1,250**

Planning Committee:  
**North** Page 176

Date:  
**July 2015**

